

DESIGN DOCUMENTS FOR OPTICAL OUTLET 4232 S TAMAMI TRAIL, SARASOTA, FL 34231

PROJECT DESCRIPTION

INTERIOR RENOVATION

SHEET INDEX

ARCHITECTURE

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- A2.1 PROPOSED FLOOR PLAN
- A2.2 REFLECTED CEILING PLAN

PROJECT TEAM

DESIGNER

DESIGN STUDIO 93 INC.
2423 MANATEE AVE W
BRADENTON FL 34208

ENGINEER OF RECORD

LBR SOLUTION EXPERTS, LLC

TENANT INFORMATION

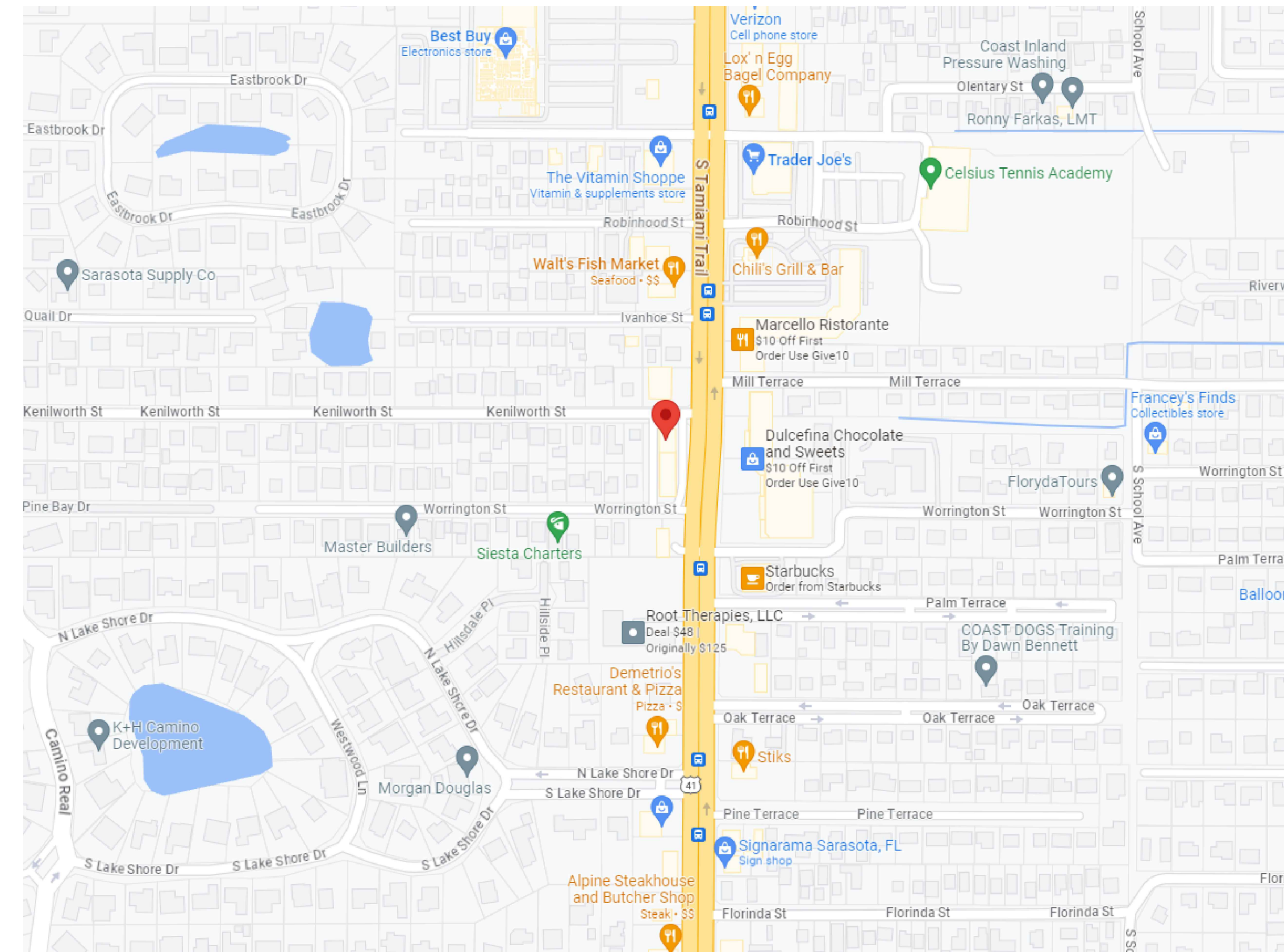
TENANT:
OPTICAL OUTLET
4234 S TAMAMI TRAIL,
SARASOTA, FL 34231

CODE INFORMATION:

APPLICABLE CODES:

- BUILDING: 2020 FLORIDA BUILDING CODE (FBC 7TH EDITION)
- PLUMBING: 2020 FLORIDA BUILDING CODE (FBC 7TH EDITION), PLUMBING
- MECHANICAL: 2020 FLORIDA BUILDING CODE (FBC 7TH EDITION), MECHANICAL
- ELECTRICAL: 2017 NATIONAL ELECTRIC CODE (NEC)
- ENERGY: 2020 FLORIDA BUILDING CODE (FBC 7TH EDITION), ENERGY CONSERVATION
- LIFE SAFETY: FLORIDA FIRE PREVENTION CODE 7TH EDITION (NFPA 101, 2018 & NFPA 1, 2018)
- ACCESSIBILITY: 2020 FLORIDA BUILDING CODE (FBC 7TH EDITION), ACCESSIBILITY

OCCUPANCY TYPE:	B (BUSINESS)
CONSTRUCTION TYPE:	V-B (NON-Sprinklered)
FIRE OCCUPANCY SEPARATION:	YES
OCCUPANCY:	(SEE Life Safety Plan)
EGRESS:	SEE Life Safety Plan
SPRINKLER SYSTEM:	NO SPRINKLER SYSTEM
FIRE ALARM:	Yes
EMERGENCY LIGHTING:	Yes



VICINITY MAP

GENERAL NOTES

- 1) The Contractor shall review the Contract Documents and verify dimensions and field conditions. Any conflicts, omissions, or discrepancies shall be reported in writing, three (3) business days before return of bid. The General Contractor warrants by tendering his bid that work is buildable as shown.
 - 2) Work shall conform to all applicable building codes and ordinances and other agencies having jurisdiction. The rules and regulations of OSHA shall be adhered to for this project.
 - 3) The Contractor is responsible for construction means, methods, technical sequences, procedures and safety precautions, and for the coordination of his work and for the work performed by his subcontractors.
 - 4) DO NOT scale drawings; written dimensions govern partition locations, dimensions, and types. Door and window locations shall be shown on the Contract Documents. In case of conflict, notify the ENGINEER for written clarification prior to proceeding with work.
 - 5) Partitions are dimensioned from face to face unless otherwise noted. Dimensions marked "clear" shall be maintained and shall allow for finish thickness including, but not limited to, carpet, ceramic tile, VCT, etc. Contractor shall not adjust dimensions without written approval of the Owner.
 - 6) Contractor shall layout partitions for Owner to review for design intent. Do not proceed with installation of studs without this review approval. Contractor shall coordinate and verify conditions to ensure proper arrangement. Review of design intent does not release Contractor from the responsibility to maintain critical dimensions and clearances. During Owner's review, Contractor shall make minor revisions as directed by the Owner without additional cost to the Owner.
 - 7) New gypsum board construction adjoining existing construction in the same plane shall be flush with no visible joints unless otherwise noted.
 - 8) Contractor shall install drywall furring and framing to accommodate depth of fire extinguisher cabinets and other items indicated on the drawing. Contractor shall coordinate depth and sizes of recess required with specified equipment.
 - 9) All dissimilar metals shall be isolated as required to prevent galvanic corrosion.
 - 10) All product installations shall meet or exceed manufacturer's recommended standards.
 - 11) All spot elevations and level line elevations for construction are based on an assumed reference elevation of 0'-0" unless indicated otherwise.
 - 12) Penetrations in gypsum board construction above finished ceiling shall be effectively sealed to prevent sound leakage at acoustical and/or demising partitions unless otherwise noted. Penetrations through fire-rated partitions shall be fire stopped with UL listed assemblies and / or materials.
 - 13) Contractor shall verify requirements and restrictions of building management pertaining to construction in the building and comply with the same. Core drilling may occur ONLY prior to 8am or after 6pm.
 - 14) These plans are the property of DESIGN STUDIO 93, INC.
- SPECIAL REQUIREMENTS**
- 1) Contractors should be aware any changes to these plans, regardless how minor, without the written approval of designer or any construction executed from these plans without the express approval of designer, or any changes in the scope, design, or intent for any reason, by any person other than designer shall automatically render design harmless to any liability claims, suits, or litigation by any interested parties in the project. If bound specifications accompany these plans, they should be read carefully for additional conditions.
- TEMPORARY FACILITIES**
- 1) Temporary Utility Services: Owner will arrange and pay for temporary utility services.
 - 2) HVAC: Contractor will maintain air temperature and ventilation in construction area to protect material from damage.
 - 3) Sanitary Facilities: Arrange for use of temporary portable facilities and enclosures as required.
- RESPONSIBILITIES OF ALL CONTRACTORS**
- 1) Pay legally required sales and consumer taxes.
 - 2) Secure and pay for all permits, fees and licenses as required for the execution of the work.
 - 3) Comply with Codes, Ordinances, and other legal requirements of public authorities having jurisdiction over the work. Inform ENGINEER promptly of observed variances from legal requirements.
- SUBSTITUTIONS**
- Submit separate request for substitutions properly evaluate proposed item. Include information regarding cost and availability. ENGINEER will make final determination as to acceptability of proposed substitution.
- CONSTRUCTION CLEANING**
- 1) Provide covered containers for the deposit of waste materials. Locate exterior containers as directed by Owner.
 - 2) Use only cleaning materials which will not create hazard to health or property. Use only cleaning material recommended by manufacturer of installed products.
 - 3) Maintain premises daily in a clean and orderly condition. Remove waste material from site periodically and dispose of at a legal disposal site. Clean interior space prior to start of painting operation.
 - 4) Final Cleaning: Employ special workers for final cleaning. Clean all site exposed surfaces. Polish all glazing and glossy surfaces. Replace HVAC disposal filters if they were in operation during construction.

WE HAVE ATTEMPTED TO INCLUDE ALL NECESSARY DETAILS AND PERTINENT INFORMATION ON THESE DRAWINGS. THE CONTR. IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DETAILS AND OTHER INFORMATION PROVIDED ON THESE DRAWINGS. ANY DISCREPANCIES OR OMISSIONS SHOULD BE REPORTED TO DESIGNER IN WRITING PRIOR TO COMMENCEMENT OF WORK.





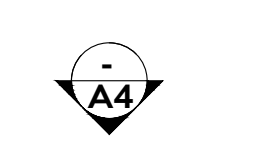
ABBREVIATIONS:

Table of abbreviations with columns A through W, listing various construction terms and their corresponding symbols or codes.

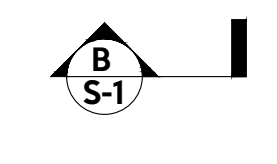
GENERAL SYMBOLS:



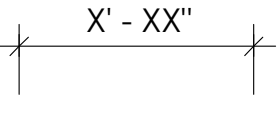
Enlarged Drawing Designation



Elevation Designation



Section Designation



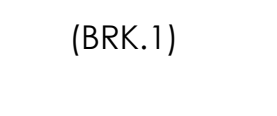
Dimension unless otherwise noted)



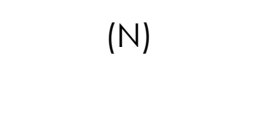
Room Tag



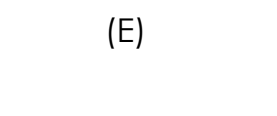
Key Note



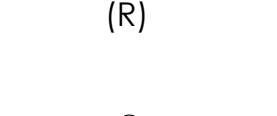
Finish/ Material Tag



New Item



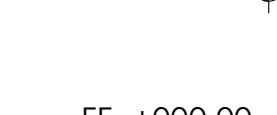
Existing Item



Relocated Item



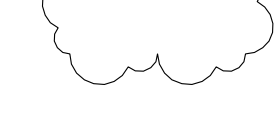
Centerline



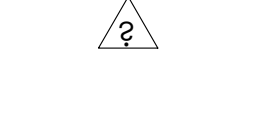
Spot Elevation



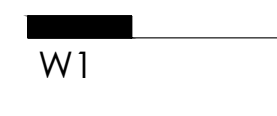
New Grade / Slab Elevation



Revision Cloud



Revision Number



Partition Type

ACOUSTIC LAY-IN TILE CEILINGS

- 1. Measure each ceiling area and establish layout of acoustical tiles to balance border widths at opposite edges of each ceiling. Avoid using less than half width tiles at borders.
2. Suspend ceiling hangers from building's structural members, plumb and free from contact with insulation or other objects within ceiling plenum.
3. Locate light fixtures, fire detection devices and alarms and other ceiling mounted electrical devices in ceiling tile.
4. The Owner has first rights of salvage of all fixtures, equipment and building materials removed as part of the demolition and not reused in the new construction.

INTERIOR GLAZING:

- 1. Glass thickness indicated are minimums and are for detailing only. Confirm glass thickness by analyzing project loads and in-service conditions.
2. Comply with NFPA 80 for glazing in fire rated door and window assemblies.
3. Provide kind HS (heat strengthened) and kind FT (fully tempered) as indicated or required by local code and federal safety glazing standards.
4. Glazing schedule:
A. Float glass: ASTM C 1036, Type I (transparent glass, flat) quality Q3 (glazing select), tempered safety, Class 1 (clear) unless noted otherwise.
B. Wired glass: ASTM C 1036, Type II, Class 1 (clear), Quality Q8 (glazing), Form 1 (wire, polished both sides), mesh M2 (square).
C. Patterned glass: ASTM C 1036, Type II, Class 1 (clear), Form 3 (pattemed), Quality Q8 (glazing), Finish F1 (pattem on side).
5. Unframed mirrors (framed mirrors are scheduled with toilet accessories): annealed float glass, ASTM C 1048, Type I, Class 1 (clear), Quality Q2 (mirror) with coating system complying with ES DD-M-411, with polished edges.
6. Provide permanent means of support along bottom and top edges.

PAINTING GENERAL NOTES:

- 1. Provide block fillers, primers and finish-coat materials that are compatible with one another and with the substrates indicated under conditions of service and application, as demonstrated by manufacturer based on testing and field experience.
2. Apply paint according to manufacturer's written instructions. Use applicators and techniques best suited for substrate and type of material being applied.
3. The term "exposed surfaces" indicates areas visible when permanent or built-in fixtures, grilles, covers or similar components are in place.
4. Paint surfaces behind movable equipment and furniture the same as similar exposed surfaces.
5. Paint surfaces of ducts with flat, non-specular black paint where visible through registers and grilles.
6. Paint all supports for counters, adjustable shelving, etc. to match wall.
7. Minimal Coverage Requirements:
A. Concrete:
1. Primer as recommended by coating manufacturer.
2. Topcoat, Ultracrete textured masonry topcoat, A44W800 series, as manufactured by Sherwin Williams or approved equivalent, 100% acrylic, "medium textured" finish, mildew-resistant agents.
B. Concrete unit masonry:
1. Primer, Concrete unit masonry block filler.
2. Topcoat, Two (2) finish coats interior low-luster acrylic enamel.
C. Gypsum board:
1. Primer, Interior gypsum board primer.
2. Topcoat, Two (2) finish coats, interior sheen as specified, acrylic enamel.
D. Ferrous metal:
1. Primer, Interior zinc-coated metal primer.
2. Topcoat, Two (2) finish coats interior semi-gloss acrylic enamel.
E. Zinc-coated metal:
1. Primer, Interior zinc-coated metal primer.
2. Topcoat, Two (2) finish coats interior low-luster acrylic enamel.

DEMOLITION GENERAL NOTES:

- NOTE: Refer to Project's Scope of Work to determine if demolition is required within the project.
1. Visit the site to become familiar with the scope of work and to field verify existing. Report any and all discrepancies or ambiguous items to the Architect.
2. Note that there are demolition notes on the Civil and MEP plans, if issued, as well. Provide all other demolition work required by construction sequencing and means and methods to install the new and remodel work shown, whether such related and necessary demolition work is specifically noted on these drawings or not.
3. Prior to start of demolition, secure from the Owner a list of additional existing building components to be salvaged such that salvaged components are delivered to the Owner in their existing condition.
4. The Owner has first rights of salvage of all fixtures, equipment and building materials removed as part of the demolition and not reused in the new construction.
5. The Contractor will verify all opening requirements for architectural, structural, mechanical, electrical, plumbing, etc. work prior to framing or cutting for installation.
6. The Contractor will perform or directly supervise all cutting and patching for all trades without exception.
7. Prior to cutting or altering or removing any existing wall, footing or roof deck provide shoring, bracing and supports as required to maintain the structural integrity of the building/structure.
8. Provide materials for cutting and patching which will result in equal-or-better work than that being cut or patched.
9. Existing construction that is being removed shall be removed carefully so as not to damage any existing construction that remains.
10. Plumbing lines that are to be removed shall be capped as close to point of entry in the structure as possible, or removed completely.
11. Where existing flooring, ceilings or wall finishes are to be removed and replaced with new finishes, the Contractor shall be responsible for removal and disposal of existing materials.
12. Floor finishes being replaced shall be completely removed, and the floor cleaned and properly prepared prior to installation of new finish material.
13. Where new concrete topping is being poured over existing concrete slab, bush hammer existing concrete finish for better bond.
14. Where existing door openings are to be sealed: remove frame and patch wall with the same material and finish as the existing construction.
15. Where light fixtures are being removed or replaced, ceiling surfaces shall be cleaned, repaired and patched to match the adjacent surfaces prior to installation of new light fixtures.
16. Where door frames remain, repair frame - fill hinge pocket and all holes in frame to create finished case opening.
17. If materials suspected of containing hazardous material are encountered, do not disturb. Suspend Work and notify Architect and Owner immediately.
18. Contractor is responsible for verifying that all floor recesses and drops match between architectural floor plans and structurally engineered foundation plans.
19. Contractor shall coordinate all construction sequencing with the Owner and schedule all services and interruptions to minimize negative impact on Owner, tenants, or adjacent entities.
20. Contractor is responsible for verifying that all floor receptacles, sinks, etc are coordinated between all trades, and will provide all in-slab electrical and plumbing as required.
21. The Contractor is responsible for verifying and insuring that all cracks around structural members, bracing, pipes, conduit, etc. are sealed.
22. The Contractor will coordinate the work of all subcontractors and trades without exception.

FLUSH WOOD DOORS:

- 1. In remodel construction verify all remaining doors are in good condition, and repair and refurbish frames to "As-New" condition.
2. In remodel construction match existing material, profile, finish, etc. unless noted otherwise.
3. Etched wood doors shall comply with NFPA 80 and shall be listed and labeled by a testing and inspecting agency acceptable to authorities having jurisdiction for fire ratings indicated.
4. Provide warranty on manufacturer's standard form, signed by manufacturer, installer and contractor, in which manufacturer agrees to repair or replace doors that are defective in materials or workmanship.
5. Construct doors with five plies with stiles and rails bonded to core, then entire unit abrasive planed before faces and crossbands are applied.
6. Door facing as indicated in door schedule shall be as follows:
1. Grade: AWI premium, with grade a faces
2. Species: Cut and grain matching as indicated in door schedule
3. Stiles: Same species as faces
4. Finish: Premium Grade, AWI system TR-6 catalyzed polyurethane stain sheen.
7. Colors, patterns and finishes: as indicated in door schedule
8. Stiles: hardwood edges for painting
9. Provide manufacturer's standard wood beads for life openings in non-rated wood doors of same species as door faces.
10. Install doors to comply with manufacturer's written instructions, AWI quality standards and as indicated. Install fire-rated doors in corresponding fire-rated frames according to NFPA 80.

CONTRACTOR GENERAL NOTES:

- 1. Perform all work in compliance the Contract Documents General Notes in these contract documents.
2. Do not disassemble this set of construction documents.
3. The Contractor will obtain and pay for all necessary permits, licenses, certificates, testing, etc.
4. Contractor to confirm and verify the location of all structures in relation to building lines or setbacks, property lines and easements with the appropriate municipal entity.
5. The Contractor and all subcontractors and trades will perform a due diligence inspection of all existing conditions prior to start of a proposal.
6. The Contractor will perform or directly supervise all cutting and patching for all trades without exception.
7. Furnish all new material except where specifically noted in documents.
8. Warranty all materials and labor for a period of One (1) year (Unless Noted Otherwise) from the date of substantial completion.
9. Contractor to ensure work area is clean and free of obstructions during construction period, and at the end of construction provide a clean and ready space for the Owner's use.
10. Items furnished and installed by the Owner are noted "O.F.O.I.", or "O.F.O.I.".
11. Where existing flooring, ceilings or wall finishes are to be removed and replaced with new finishes, the Contractor shall be responsible for removal and disposal of existing materials.
12. Floor finishes being replaced shall be completely removed, and the floor cleaned and properly prepared prior to installation of new finish material.
13. "Basis of Design" as used within these contract documents is to meet the minimum design requirements of the Architect.
14. "Similar" or "Equivalent" as used within these contract documents means that an specific item or detail referenced is substantially the same as the item or detail being referenced to, with minor variations that do not affect the function or appearance.
15. The Contractor shall coordinate all construction sequencing with the Owner and schedule all services and interruptions to minimize negative impact on Owner, tenants, or adjacent entities.
16. Contractor is responsible for verifying that all floor recesses and drops match between architectural floor plans and structurally engineered foundation plans.
17. Contractor shall coordinate all construction sequencing with the Owner and schedule all services and interruptions to minimize negative impact on Owner, tenants, or adjacent entities.
18. The Contractor is responsible for verifying and insuring that all cracks around structural members, bracing, pipes, conduit, etc. are sealed.
19. The Contractor will coordinate the work of all subcontractors and trades without exception.
20. The Contractor will coordinate the work of all subcontractors and trades without exception.

INTERIOR ALUMINUM FRAMES:

- 1. In remodel construction verify all remaining frames are in good condition, and repair and refurbish frames to "As-New" condition. Notify Owner/Architect if frames are beyond repair or refurbish or does not meet current accessibility requirement.
2. In remodel construction match existing material, profile, finish, etc. unless noted otherwise.
3. Provide extruded aluminum components of not less than .062 inch thick material.
4. Fabricate frames for drywall slip-on type with throat size as required for scheduled partition type thickness.
5. Install ceiling track and trim in longest possible lengths with no section less than 48 inches long.
6. Factory finish all components so that any part exposed to view upon completion of installation will be uniform in finish and color.

ALUMINUM STOREFRONT SYSTEMS

- In remodel construction verify all remaining windows are in good condition, and repair and refurbish to "As-New" condition. Notify Owner/Architect if windows are beyond repair or refurbish.
- Provide aluminum-framed systems, including anchorage, capable of withstanding, without failure, the effects of structural loads, thermal movements, movements of supporting structure.
- Structural wind loads: 30 psf.
- Deflection of framing members normal to wall plane: limited to 1/240 of clear span.
- Air infiltration: maximum air leakage through fixed glazing and framing areas of systems of 0.06 cfm/sq.ft. Of fixed wall area when tested according to ASTM E 283.
- Water penetration under static pressure: systems do not evidence water penetration through fixed glazing and framing areas when tested according to ASTM E 331.
- Material warranty: Manufacturer's standard form in which manufacturer agrees to repair or re-place components of aluminum-framed systems that do not comply with requirements or that deteriorate within 2 years from date of substantial completion.
- Finish warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace components on which finishes fall within 20 years from date of substantial completion. Warranty does not include normal weathering.
- Frame Finish: See Window Schedule
- Brackets, reinforcements, fasteners, gaskets, sealants, and accessories: manufacturer's standard for the system specified.
- Flashing: manufacturer's standard corrosion-resistant, nonstaining, nonbleeding flashing compatible with adjacent materials. Form exposed flashing from sheet aluminum finished to match framing and of sufficient thickness to maintain a flat appearance without visible deflection.
- Glazing: See Window Schedule
- Door hardware by storefront manufacturer; provide manufacturer's standard pivot hinges, strike, parallel arm closer, weather stripping, sweep, silencers, and 1 inch diameter bent offset pulls.
- Door hardware provided by or coordinated with others: coordinate cylinders, fire exit devices, and outside trim with systems described in the door hardware schedule, and the material provided by others.
- Door Hardware: See Hardware Schedule

METAL FABRICATION:

- All structural steel items shown or noted shall be ASTM A36 grade, unless noted otherwise.
- All bolted connections shall be made using ASTM A325 bolts of the size noted or best suited for the intended purpose.
- All required welding shall be performed by welders qualified per AWS requirements. At exposed connections, finish exposed welds and surfaces smooth and blended so no roughness shows after finishing and contour of welded surface matches that of adjacent surface.
- Fit exposed connections accurately together to form hairline joints. Weld connections that are not to be left as exposed joints but cannot be shop welded because of shipping size limitations.
- Immediately after erection, clean field welds, bolted connections and abraded areas of shop paint and paint exposed areas with the same material as used for shop painting to comply with SSPC-PA 1 for touch-up or shop-painted surfaces.

FLOORING GENERAL NOTES:

- Engage an installer who employs workers for this project that are trained or certified by floor covering manufacturer for installation techniques required.
- Maintain temperatures within range recommended by manufacturer.
- Prepare substrates according to manufacturer's written recommendations to ensure adhesion of resilient products.
- Use manufacturer's recommended products and methods for specific installation type.
- Scribe and cut floor coverings to built neatly and lightly to vertical surfaces, permanent fixtures and built-in furniture including cabinets, pipes, outlets, edgings, thresholds and nosing. Extend floor coverings into toe spaces, door reveals, closets and similar openings.
- Adhere flooring to flooring substrates using a full spread of adhesive applied to substrate to produce a completed installation without open cracks, voids, raising and puckering at joints, telegraphing of adhesive spreader marks and other surface imperfections.
- Lay out sheet covering as follows: maintain uniformity of floor covering direction. Minimize number of seams; place seams in inconspicuous and low-traffic areas, at least 6 inches away from parallel joints in floor covering substrates. Match edges of floor coverings for color shading of seams. Avoid cross seams. Eliminate deformations that result from hanging method used during drying process (stove bar marks).
- When floor patterns are given in the drawings, inform the architect if field conditions will prevent the specified pattern from being installed as shown. Where possible, always lay out flooring from centerlines to avoid edge pieces of less than one half tile unless noted otherwise.
- Perform the following operations immediately after installing floor coverings:
 - Remove adhesive and other surface blemishes from floor covering surfaces.
 - Sweep and vacuum floor coverings thoroughly.
 - Damp-mop floor coverings to remove marks and soil. Do not wash floor coverings until after time period recommended by manufacturer.
- Protect floor coverings against marks, indentations, and other damage from construction operations and placement of equipment and fixtures during remainder of construction period. Use protection methods indicated or recommended in writing by manufacturer.
- Apply protective floor polish to surfaces that are free of soil, visible adhesives, and surface blemishes. Seal flooring as recommended by the manufacturer.
- Cover floor with undyed, untreated building paper until inspection for substantial completion. Allow drying room film (yellow film caused by linseed oil oxidation) to disappear before substantial completion.
- Do not move heavy and sharp objects directly over floor covering surfaces. Place plywood or hardboard panels over floor coverings and under objects while they are being moved. Slide or roll objects over panels without moving panels.

ROUGH CARPENTRY NOTES:

- Provide preservative treatment by pressure process in accordance with AFWA C2 and AFWA C9 for rough carpentry at the following locations:
 - Wood cants, nailers, curbs, equipment support bases, blocking, stripping and similar members in connection with roofing, flashing, vapor barriers and waterproofing.
 - Wood sills, sleepers, blocking, furring, stripping and similar concealed members in contact with masonry or concrete.
 - Wood floor plates that are installed over concrete slabs directly in contact with earth.
- Provide fire-retardant-treated materials that comply with performance requirements in AFWA C20 and AFWA C27 where indicated or required by local building codes.
- Telephone and electrical equipment backing panels shall be DOC FC 1, Exposure 1, C-D plugged, fire-retardant treated, in thickness indicated or, if not indicated, not less than 3/4" thick.
- Provide fasteners of size and type appropriate for installation. Where rough carpentry is exposed to weather, in ground contact, or in area of high relative humidity, provide fasteners with hot-dip zinc coating complying with ASTM A153/A.
- Fit rough carpentry to other construction; scribe and cope as required for accurate fit. Locate furring, nailers, blocking, grounds and similar supports to comply with requirements for attaching other construction.
- All concealed blocking for scheduled architectural woodwork, shelving, furniture, fixtures, and equipment shall be provided by the contractor.
- All exposed blocking for architectural woodwork shall be provided by woodwork manufacturer.

SUBMITTAL GENERAL NOTES:

- Submittal requirements provided in Specification, if provided as the Contract Documents, take precedence over these general notes without exception.
- Contractor will verify with Owner/Architect the material, data, drawings, finishes, etc. that will be required for submittal and review prior to completion of Owner/Contractor contact.
- As a minimum, unless directed otherwise, the Contractor will submit to the Architect for review the following architectural items in addition to required Structural and MEP items:

Data Sheets Only:
CMF, Vapor Barriers, Waterproof Barriers, Concrete Sealers, Insulation, Gypsum Wall Board, Gypsum Sheathing.

Data Sheets and Finish Samples Only:
Paint & Coatings, Masonry Units, EIFS, Stucco, Joint Sealants, Wall Bases, Specialty Films.

Data Sheets, Shop Drawings, and Finish Samples:
Door, Door Frames, Door Hardware, Window Frames, Glazing, Millwork, Countertops, Carpet, Ceramic/Porcelain Tiles, Wall Covers, Movable Partitions, Specialty Boards, Toilet Partitions, Elevator.

Mock-Up Samples:
Provide a 4 x 4 complete Mock-Up sample for each of the finishes for Owner approval for each of the following: All Exterior Wall Finishes and Primary Interior Paint within Scheduled Rooms.
- Contractor will provide to the Owner/Architect Submittal Schedule with Submittal Log prior to first submittal submission.
- Contractor to provide the following on all submittals: Name and Address of Project, Name and Address of Owner and Architect, Name and Address of Contractor, Name and Address of Subcontractor or Trade, Submittal Name, Submittal Number, Submittal Date, Contractor Review Stamp, Contractor Comments (Required for Owner/Architect's Review)
- Contractor to provide all Data, Inspection, MSDS, Shop Drawings, etc. (i.e. all paper submissions) in electronic (PDF) format for Owner/Architect's review.
- Contractor to provide three (3) copies of all required material and finish submittals for Owner/Architect's approval.
- Contractor to schedule for every submittal five (5) calendar days for each review by Owner/Architect, and ten (10) calendar days for each review by Owner/Architect's consultants.
- Owner/Architect will not review ANY submittal that has not been reviewed and commented on in detail by the General Contractor, and reserves the right to return ANY submittal that is submitted without detailed mark-up by the General Contractor.
- Owner/Architect will review prior agreed upon submittals for compliance with the design intent of the contract documents ONLY. All submittals are NOT part of the contract documents, and may NOT be used in lieu of issued contract documents at any time without exception.
- Owner/Architect will review a submittal twice (x2) within the typical construction process. All submittal reviews after that time, third time (x3) and over, will be deemed in excess of the typical construction process, and the General Contractor shall reimburse Architect of all expenses related to additional reviews.
- Contractor will not release any and all material, systems, finishes, etc. for purchase or manufacturing without final Owner/Architect approval without exception.

MEANS & MATERIALS NOTES**MEANS & METHODS & MATERIALS**

Construction means, methods, and materials are solely the jurisdiction of the Contractor and are not described in these documents. Exact detailing, structural, mechanical, electrical, waterproofing and flashing are to be determined by the contractor except as noted or described within these documents. The Contractor is required to provide all indicated material and building systems to the most stringent construction standards, recommendations, and instructions related to the material or system regardless if such standards, recommendations, or instructions are specifically listed within these documents. In all cases, the most stringent requirements of all applicable federal, state, county, and local city building, mechanical, electrical, plumbing, and fire codes, laws, ordinances, and regulations will be met.

If the contractor or any subcontractor performs any work in conflict with the above mentioned construction standards, recommendations, laws, rules, codes, ordinances and regulations then the Contractor will solely bear all costs of repair arising out of non-conforming work.

NATIONAL TRADE STANDARDS

All means, methods, and materials shall conform to the accepted national trade standards for that trade. The most stringent requirements shall govern unless the Owner expressly accepts a lesser standard. It is the General Contractor's responsibility to ensure all trade standards are met. A partial list of typical required trades standards follows:

American Aluminum Manufacturers Association · American Concrete Institute · American Board Products Association · American Institute of Steel Construction, Inc. · American Iron and Steel Institute · American Institute of Timber Construction · American Plywood Association · American Society of Heating, Refrigeration, and Air Conditioning Engineers, Inc. · The American Society of Mechanical Engineers, Inc. · The Architectural Woodwork Institute · American Wood Preservers Association · Builder's Hardware Manufacturer's Association · Brick Institute of America · Building Stone Institute · Copper Development Association Inc. · California Redwood Association · The Carpet and Rug Institute · The Door and Hardware Institute · Facing Tile Institute · Gypsum Association · Glass Tempering Association · Hardwood Plywood Manufacturer's Association · Institute of Electrical and Electronics Engineering, Inc. · Marble Institute of America · Metal Lath/Steel Framing Association · National Particle Board Association · National Fire Protection Association · National Forest Products Association · National Paint and Coating Association · National Terrazzo and Mosaic, Inc. · Porcelain Enamel Institute, Inc. · Rubber Manufacturer's Association, Inc. · Southern Forest Products Association · Steel Joint Institute · Stucco Manufacturer's Association · The Society of the Plastics Industry, Inc. · The Council of America, Inc. · Underwriter's Laboratory, Inc. Wood and Synthetic Flooring Institute · Woodwork Institute of California.

TEMP. FACILITIES GENERAL NOTES:

- Comply with applicable codes and standards to provide temporary facilities and controls to execute the Work in a safe, orderly, and efficient manner.
- Temporary facilities may include temporary utilities (sewers and drainage, water, telephone, electricity), field offices and sheds, scaffolding, lifts and cranes, temporary fencing.
- Temporary controls may include requirements for security, erosion control, fire protection, barricades, warning signs, lights, or traffic control.
- Contractor to pay Water Service Charges.
- Contractor to pay Electric Power Service Charges
- Contractor to provide and implement a Moisture-protection plan and Dust-control and HVAC-control plan.
- Owner will designate a portion of the site for use by the Contractor for parking and for "lay down" of construction materials and staging of construction operations. Contractor may use existing facilities as approved by the Owner for field offices.
- Contractor is responsible for security of products stored at the Project site after completed construction prior to Substantial Completion.
- Contractor to provide prefabricated or mobile units, including conference room for new construction or dedicated enclosed "lockable" area for renovation construction. Provide temporary telephone service in common-use facilities.
- Contractor to provide secure WiFi wireless connection to internet with provisions for access by Owner, Architect, and other consultants as requested.
- Contractor to provide project signs as approved by Owner/Architect. Unauthorized signs are not permitted.
- Contractor to erect temporary protection, such as walks, fences, railings, canopies, and covered passageways, where required by authorities having jurisdiction and as indicated. Protect existing site improvements, appurtenances, and landscaping to remain. Do not close or obstruct streets, walks, walkways, or other adjacent occupied or used facilities without permission from Owner and authorities having jurisdiction. Provide alternate routes around closed or obstructed traffic ways if required by authorities having jurisdiction.

DEMOLITION GENERAL NOTES:

NOTE: Refer to Project's Scope of Work to determine if demolition is required within the project.

- Visit the site to become familiar with the scope of work and to field verify existing. Report any and all discrepancies or ambiguous items to the Architect.
- Note that there are demolition notes on the Civil and MEP plans. If issued, as well. Provide all other demolition work required by construction sequencing and means and methods to install the new and remodel work shown, whether such related and necessary demolition work is specifically noted on these drawings or not.
- Prior to start of demolition, secure from the Owner a list of additional existing building components to be salvaged such that salvaged components are delivered to the Owner in their existing condition.
- The Owner has first rights of salvage of all fixtures, equipment and building materials removed as part of the demolition and not reused in the new construction. Remove all other debris and waste from the site and dispose of properly, in accordance with any applicable federal, state and local regulations.
- The Contractor will verify all opening requirements for architectural, structural, mechanical, electrical, plumbing, etc. work prior to framing or cutting for installation.
- The Contractor will perform or directly supervise all cutting and patching for all trades without exception.
- Prior to cutting or altering or removing any existing wall, footing or roof deck provide shoring, bracing and supports as required to maintain the structural integrity of the building/structure.
- Provide materials for cutting and patching which will result in equal-or-better work than that being cut or patched.
- Existing construction that is being removed shall be removed carefully so as not to damage any existing construction that remains. All surfaces surrounding objects being removed are to be repaired and patched (in a rectangular pattern) to match existing conditions and made ready to receive any new finishes where applicable.
- Plumbing lines that are to be removed shall be capped as close to point of entry in floor or wall as possible, or removed completely. Patch floors and walls to match existing conditions.
- Where existing flooring, ceilings or wall finishes are to be removed and replaced with new finishes the surfaces to remain shall be stripped clean of all existing finishes and made ready to receive new finishes.
- Floor finishes being replaced shall be completely removed, and the floor cleaned and properly prepared prior to installation of new finish material. Inspect all floors that receive new finishes to assess existing conditions prior to commencement of construction. Patch, fill and strip floor as required, to provide a smooth, durable surface free of burs and adhesive and suitable for application of new finish material. Under cut doors as required to accommodate new floor finishes.
- Where new concrete topping is being poured over existing concrete slab: bush hammer existing concrete finish for better bond.
- Where existing door openings are to be sealed: remove frame and patch wall with the same material and finish as the existing construction. New and existing wall shall align.
- Where light fixtures are being removed or replaced, ceiling surfaces shall be cleaned, repaired and patched to match the adjacent surfaces prior to installation of new light fixtures.
- Where door frames remain, repair frame - fill hinge pocket and all holes in frame to create finished case opening. Clean, sand smooth and paint frame to match existing door frames.
- If materials suspected of containing hazardous materials are encountered, do not disturb. Suspend Work and notify Architect and Owner immediately. Hazardous material shall be removed by Owner under a separate agreement.

CONTRACTOR GENERAL NOTES:

- Perform all work in compliance the Contract Documents General Notes in these contract documents.
- Do not disseminate this set of construction documents. Drawings are interrelated.
- The Contractor will obtain and pay for all necessary permits, licenses, certificates, testing, etc.
- Contractor to confirm and verify the location of all structures in relation to building lines or setbacks, property lines and easements with the appropriate municipal entity. Contractor to confirm all existing overhead and underground utilities (electric, gas, phone, TV, water, sewer, etc.), utility apparatus and structures, top and hook-up locations with the appropriate municipal entity. Notify Architect and Owner immediately with any discrepancies.
- The Contractor and all subcontractors and trades will perform a due diligence inspection of all existing conditions prior to start of a proposal. Submittal of a proposal will be considered confirmation that such an inspection has been made, and no further compensation will be due to the Contractor, subcontractor, or trades for claims arising a result of failure to perform such inspection.
- The Contractor and subcontractors and trades will provide their own area takeoffs and confirm actual square footages. All construction document dimensions and area calculations must be verified by the contractor and subcontractors prior to bidding, submittal of proposals or cost estimates or entering into any contracts or subcontracts, and no further compensation will be due to the Contractor, subcontractor, or trades for claims arising a result of failure to perform such takeoffs.
- Furnish all new material except where specifically noted in documents.
- Warranty all materials and labor for a period of One (1) year (unless noted otherwise) from the date of substantial completion, or the date of beneficial occupancy of the Project, whichever is later. Repair or replace all work that is discovered to be defective during this period.
- Contractor to ensure work area is clean and free of obstructions during construction period, and at the end of construction provide a clean and ready space for the Owner's use.
- Items furnished and installed by the Owner are noted "O.F.O.", or "OFOI". Items furnished and installed by the Tenant are noted "T.F.T.I." or "TFTI". Contractor will not include cost for procurement, transportation, storage, and/or installation.
- Items furnished by the Owner and installed by the Contractor are noted as "O.F.C.I." or "OFCI". Items furnished by the Tenant and installed by the Contractor are noted as "T.F.C.I." or "TFCI". Contractor will include cost for storage and installation.
- Items furnished by the Contractor and installed by the Contractor are noted as "C.F.C.I." or "CFCI". Contractor will include costs for procurement, transportation, storage, and/or installation.
- "Basis of Design" as used within these contract documents is an item/system/product that meets the minimum design and structural requirements of the Architect. Contractor may substitute a Basis of Design item with another item that meets or exceeds the Basis of Design.
- "Similar" or "Equivalent" as used within these contract documents means that an specific item or detail referenced is substantially the same as the item or detail being referenced, to wit: minor variations that do not affect the function or appearance.
- The Contractor shall coordinate all construction sequencing with the Owner and schedule all services and interruptions to minimize negative impact on Owner, Tenants, or adjacent entities.
- Contractor is responsible for verifying that all floor recesses and drops match between architectural floor plans and structurally engineered foundation plans. Contractor will insure that any slabs recessed for floor finishes (tile, wood, etc.) result in floor finishes being flush with all adjacent floor finishes. (tile, wood, etc.).
- Contractor is responsible for verifying that all floor receptacles, sinks, etc are coordinated between all trades, and will provide all in-slab electrical and plumbing as required.
- The Contractor is responsible for verifying and insuring that all cracks around structural members, bracing, pipes, conduit, etc. between walls, floors, and roof deck are sealed. The Contractor is to contact Owner and Architect immediately if non conforming conditions occur in existing construction.
- The Contractor will provide a minimum of One (1) printed or electronic record drawing of the work of the education of construction. Record drawings may be in the form of a marked-up copy of the construction documents. Deliver the record drawings to the Owner.
- The contractor will coordinate the work of all subcontractors and trades without exception.

CLOSE-OUT GENERAL NOTES:

- Prepare Punch List for remaining work for review by Architect.
- Complete Contractor, Owner, & Architect's punch list items promptly at no additional expense to the owner.
- Submit record documents.
- Obtain and submit copy of occupancy permits.
- Submit operating manuals, maintenance manuals, an warranty information.
- Train Owner's personnel in use of building's systems.
- Remove temporary facilities and provide final clean-up and touch-up of all interior and exterior areas.
- Restore portions of building, site improvements, landscaping, and other items damaged by construction operations to the satisfaction of the Architect and Owner at no expense to the Owner.
- Contractor to provide "AIAH" stock for Owner's future use per the following Requirements:

Provide 10% of furnished area for each item:

Carpet Tiles, Floor Tile, Wall Tile, Wall Covering.

Provide 5% of furnished area for each item:

Broad Loom Carpet, All Paints, Ceiling Tiles.

CONTRACT DOCUMENT NOTES:

ALL RIGHTS RESERVED. Terence Newton ARCHITECTS expressly reserves its common law copyright and other property rights regarding these plans. The plans and arrangements depicted herein are the sole property of Terence Newton ARCHITECTS and shall be retained by the recipient. The plans may not be reproduced, copied, changed or copied in any form or manner whatsoever, nor are they to be loaned or assigned to any third party without first obtaining the express written permission of Terence Newton ARCHITECTS. The Architect assumes no responsibility for changes or modifications made to these plans by others.

These general notes, specifications, drawings, and directions listed within the Contract Documents are general guidelines for the General Contractor, and are based on basic construction industry standards. The General Contractor is to adhere to these documents unless they conflict with national, state, or local laws and codes. The intent of these Contract Documents is to provide a complete, functioning project including general, architectural, structural, mechanical, electrical, plumbing, etc. required to fulfill that intent.

Contractor, subcontractors and suppliers shall refer to all drawing sheets in the Contract Documents package which may include, but not be limited to, architectural plans, surveys, civil engineering plans, geotechnical reports, structural engineering plans, mechanical/electrical/plumbing engineering plans, ResCheck/ComCheck energy reports, landscape plans, irrigation plans, specialty plans, interior decorating plans, ADA/AS accessibility compliance details and product specifications. The complete Project consists of and is composed of all specifications, documents, and drawings in the contract document package along with any issued addendum or revisions. The Contractor, subcontractor, and suppliers will refer to all drawings and documents for purposes of bidding, cost estimating, permitting, ordering of materials and for all aspects of construction. Contact the Architect to confirm total contract documents package prior to commencement of any work. Contractor to insure that all values assumed and calculations as determined in the ResCheck and ComCheck energy evaluations and report are incorporated into the project construction. R Values, U Values, and shading coefficients for windows and doors must be adhered to.

The implementation of these design intent documents requires a general contractor and subcontractors thoroughly knowledgeable with applicable building codes and the intended methods of construction. These documents are intended to provide general information regarding site work, architectural, structural, electrical, mechanical, plumbing and other disciplines to substantially complete construction of the project.

COORDINATION NOTES:**DIMENSION AND SCALING**

NOTE: DO NOT SCALE FROM DRAWINGS!

All dimensions must be field verified prior to commencement of construction, ordering of materials or fabrication of products.

In the case of any discrepancies, or if unsure about the extent of or detailing required to complete the project as shown, contact the Contractor immediately for resolution prior to construction. Failure to do so in advance of commencement of construction or ordering of materials constitutes understanding of the project scope/intent or discrepancy, and acceptance of all responsibility by contractor.

Plan square footages and area calculations indicated on plans are estimates only.

CIVIL COORDINATION

The Architectural Site Plan, if provided as part of these documents, is intended to provide the Contractor a general understanding of site conditions and placement of the existing and/or proposed building. It is not intended to be a detailed, and extensive document of all site conditions, and should not be used as such.

Finish grade contours are not normally indicated or depicted on the Architectural Site Plan. If grades are indicated on Architectural Plans and/or Elevations they represent approximate grade elevations based on an existing topography survey and proposed Civil elevations and should be confirmed by the Contractor based on Civil documents. IN ALL CASES IT IS THE RESPONSIBILITY OF CONTRACTOR TO INSURE PROPER DRAINAGE AROUND AND AWAY FROM ALL STRUCTURES AS NECESSARY.

STRUCTURAL COORDINATION

All Structural Elements shown in Architectural Contract Documents are for Design Intent Only. Architectural layout and detailing of all structural elements, including but not limited to piers, footings, retaining walls, shear walls, floor and roof trusses, rafters, floor and ceiling joists, load bearing stud walls, columns and column footings, corner floors and reinforcing are shown for coordination purposes only. All Structural Notes, Specifications, Drawings, etc. take precedence over Architectural Contract Documents.

MECHANICAL, ELECTRICAL, & PLUMBING COORDINATION

All Mechanical, Electrical, & Plumbing (MEP) Elements shown in Architectural Contract Documents are for Design Intent Only. Architectural detailing of all MEP elements, including but not limited to meters, panels, light fixtures, electrical outlets, data outlets, telephone outlets, plumbing fixtures, supply diffusers, return diffusers, HVAC equipments, etc. are shown for placement of items and coordination purposes only. All MEP Notes, Specifications, Drawings, etc. take precedence over Architectural Contract Documents with the exception of location of MEP devices on walls and within ceilings.

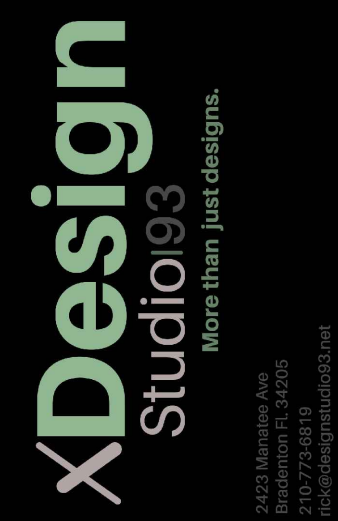
PROJECT NOTATION NOTES:

Specifications, if provided, take precedence over all General Notes, Sheet Notes, and Drawings etc. unless specifically noted otherwise. General Notes take precedence over all Sheet Notes and Drawing etc. unless specifically noted otherwise. Sheet Notes take precedence over all Drawings etc. unless specifically noted otherwise.

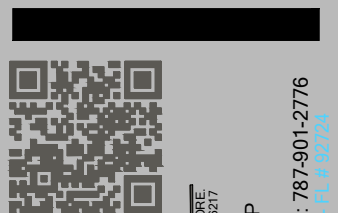
Manufacturer installation instructions are to be followed without exception, and are to be coordinated with the project specifications, general notes, sheet notes, drawings, and project design intent.

Inform Architect immediately prior to the start of work or ordering of material if there are construction conflicts between the specifications, general notes, sheet notes, drawings, and manufacturer instructions within these contract documents.

Inform Architect immediately prior to start of work or ordering of material if conflicts between specifications, general notes, sheet notes, drawings and manufacturer's requirements will lessen or void any manufacturer's warranty, or lessen the quality of the project as a whole.



DS93, HEREBY EXPRESSLY PRESERVE THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR CHANGED IN ANY FORM WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF DESIGN DS93.



TERENCE NEWTON ARCHITECTS
12318 NORTHOVER LOOP
ORLANDO, FL 32824
LBR-PE-CONSULTING@GMAIL.COM F: 787-901-2776

PROJECT

4232 S TAMAMI TRAIL,
SARASOTA, FL 34231

INTERIOR

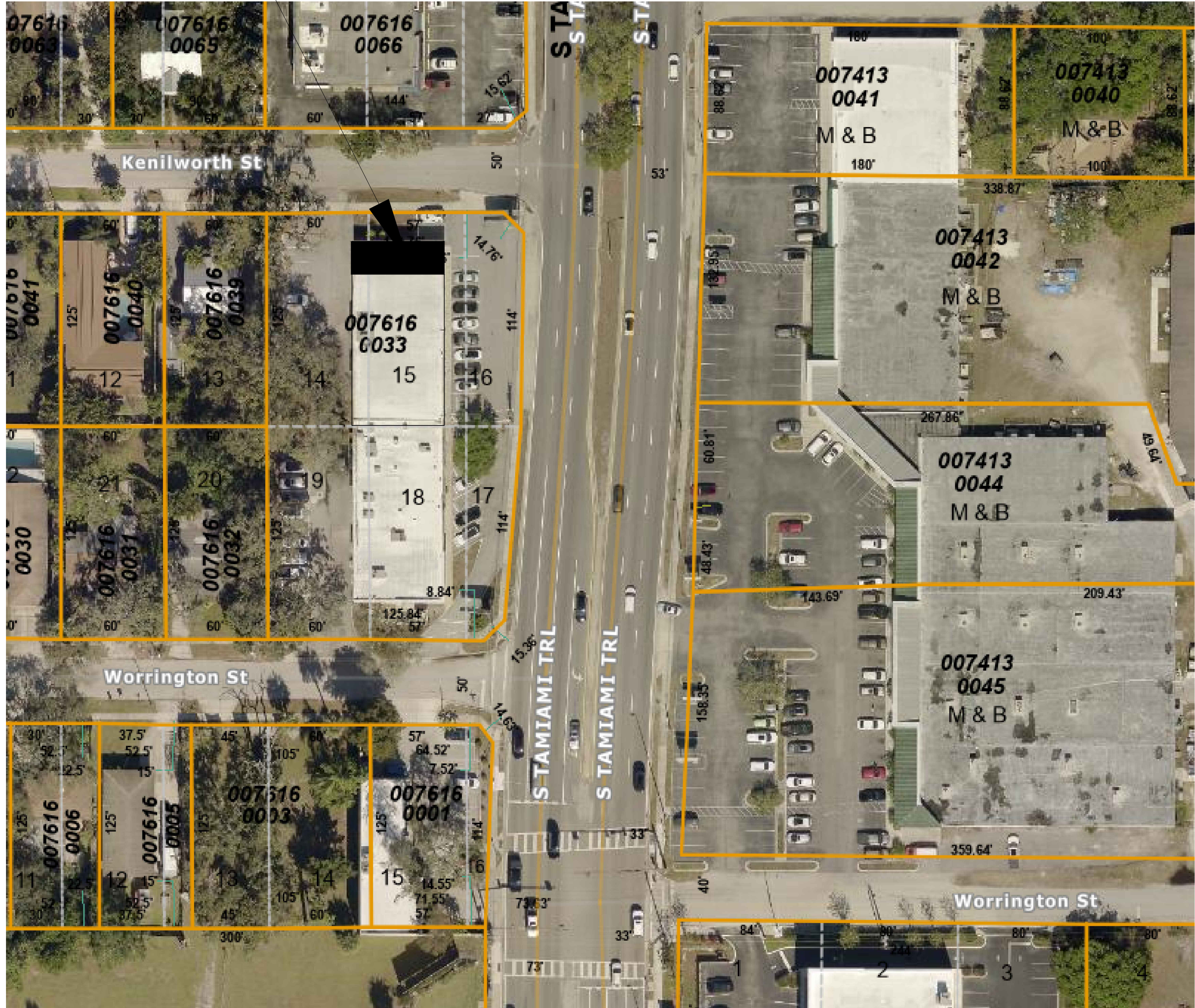
REVISIONS
DATE: February 5, 2023
NUMBER: 1

PROJECT:
DATE: 4/8/2024
SHEET:

SHEET #

A0.2

APPROXIMATE UNIT LOCATION



APPLICABLE CODES:

BUILDING: 2020 FLORIDA BUILDING CODE (FBC 7TH EDITION)

PLUMBING: 2020 FLORIDA BUILDING CODE (FBC 7TH EDITION), PLUMBING

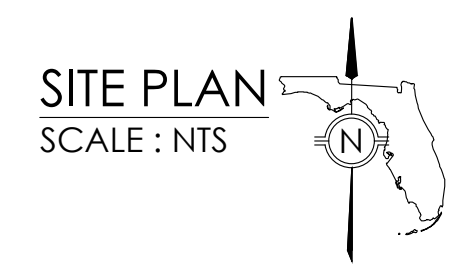
MECHANICAL: 2020 FLORIDA BUILDING CODE (FBC 7TH EDITION), MECHANICAL

ELECTRICAL: 2017 NATIONAL ELECTRIC CODE (NEC)

ENERGY: 2020 FLORIDA BUILDING CODE (FBC 7TH EDITION), ENERGY CONSERVATION

LIFE SAFETY: FLORIDA FIRE PREVENTION CODE 7TH EDITION (NFPA 101, 2018 & NFPA 1, 2018)

ACCESSIBILITY: 2020 FLORIDA BUILDING CODE (FBC 7TH EDITION), ACCESSIBILITY



SITE PLAN NOTES

INFORMATION AND DATA.

THE PROPOSED IMPROVEMENTS WERE BASED ON RECORD INFORMATION GIVEN TO THE DESIGNER AT THE TIME OF PREPARATION. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PROPOSED IMPROVEMENTS CONTAINED IN THESE PLANS AND PREVIOUS APPROVED PLAN SUBMITTALS, CONTRACTOR IS TO CONSULT WITH THE DESIGNER AND OWNER PRIOR TO ANY CONSTRUCTION ACTIVITY.

EXISTING STRUCTURES AND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE DESIGNER AT THE TIME OF THE PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE DESIGNER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY PRIOR TO THE START OF WORK. THIS NOTE ALSO PERTAINS TO ALL SUB-CONTRACTORS. CONTRACTOR IS LIABLE FOR ALL ADJUSTMENTS MADE WITHOUT ENGINEER'S WRITTEN APPROVAL.

CONTRACTOR IS RESPONSIBLE TO MEET ALL BUILDING CODES REGARDLESS OF PLAN SPECIFICATIONS.

THE WORD "TYPICAL" OR "TYP" WHERE IT OCCURS MEANS THAT THE SAME WORK APPLIES WHERE SIMILAR CONDITIONS OCCUR. DETAILS ARE UNDERSTOOD TO BE TYPICAL WHERE SIMILAR CONDITIONS OCCUR UNLESS OTHERWISE NOTED.

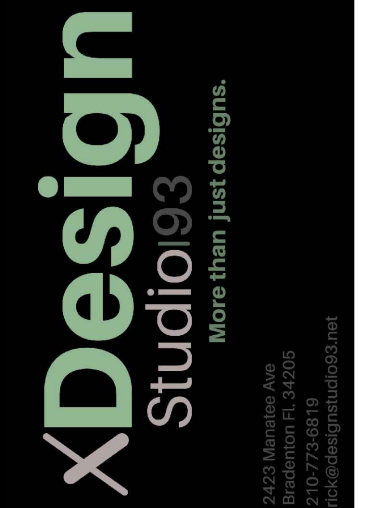
UNAUTHORIZED CHANGES & USES: THE DESIGNER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

SITE PLAN NOTES

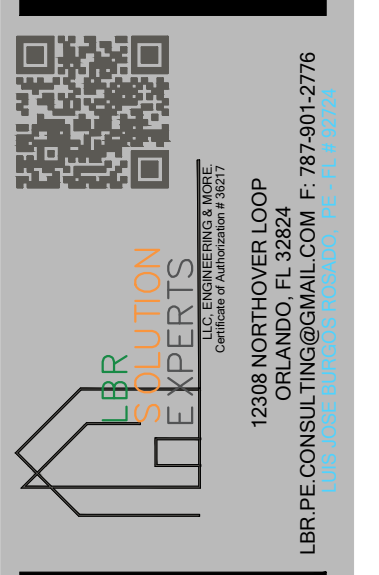
1. SLOPE DRAINAGE 5% FOR A DISTANCE OF 10FT FROM THE FOUNDATION FLOOR IF PHYSICAL OBSTRUCTION OR LOT LINES PROHIBIT THE 10 FT DISTANCE. A 2-5 PERCENT SLOPE SHALL BE PROVIDED TO AN ALTERNATIVE METHOD OF DIVERTING THE WATER AWAY FROM THE FOUNDATION. (8401.3)

* THIS IS NOT A SURVEY. BOUNDARY LINES & LOTS DIMENSIONS SHOWN HEREON ARE AN APPROXIMATE DEPICTION OF AERIAL PROPERTY BOUNDARY LINES SHOWN ON PLAN NEED TO BE VERIFIED. ALL BOUNDARY LINES DIMENSIONS AND SHOWN BUILDING DIMENSIONS ARE APPROXIMATE AND NEED TO FIELD VERIFIED.

FOR PLACEMENT PURPOSE ONLY. CERTIFIED SURVEYOR TO VERIFY SETBACKS AND PLACEMENT.



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PROJECT
4232 S TAMAMIAMI TRAIL,
SARASOTA, FL 34231
INTERIOR

REVISIONS
DATE: February 5, 2023
NUMBER: 1

PROJECT:
DATE: 4/8/2024
SHEET:
SHEET #

OCCUPANCY SCHEDULE

Room	Location Area	Area SQFT	Occupancy Classification	Factor	Rm. Occ.
101	OFFICE	116 SF	BUSINESS	150 SF	1
102	EXAM-1	57 SF	BUSINESS	150 SF	1
103	EXAM-2	58 SF	BUSINESS	150 SF	1
	IF-ROOM	57 SF	STORAGE	200 SF	1
	RECEPTION	110 SF	BUSINESS	150 SF	1
104	LAB ROOM	132 SF	BUSINESS	150 SF	1
106	RECEPTION	111 SF	BUSINESS	150 SF	1
109	SHOWROOM	406 SF	ASSEMBLY UNCONCENTRATED		27
108	SALES AREA	341 SF	ASSEMBLY UNCONCENTRATED		22
TOTAL OCCUPANT LOAD					54

PLUMBING ANALYSIS

Existing Plumbing Fixtures
2 Water Closets, 0 Urinals, 2 Lavatories

Required Plumbing Fixtures

Male: 1 Water Closets, 0 Urinals, 1 Lavatories

Female: 1 Water Closets, 1 Lavatories

1- SERVICE SINK
1 WATER FOUNTAIN

FIRE MARSHAL GENERAL NOTE:

- 01 Provide fire extinguishers in specified or noted fire extinguisher cabinet or wall bracket per local municipality's Fire Marshal requirements and instructions. Refer to the Life Safety and Egress Plan.
- 02 Emergency lighting shall be provided with a value of One (1), foot candle at floor level and be assigned to a 24-hour circuit.
- 03 Contractor to provide and install illuminated exit signs per contract documents and in accordance with local codes on a 24-hour circuit.
- 04 Maintain a 44" wide aisles/hall/corridor to all required egress exits.
- 05 Every exterior egress door with a 50 or more egress load shall be operable from the inside without the use of a key or any special knowledge or effort. Special locking devices shall be of a type approved by the local Fire Marshal.
- 06 Every interior egress door with a 50 or more egress occupant load shall open towards the path of travel, and not reduce the aisle/hall/corridor egress width.
- 08 Contractor to provide fire/smoke dampers and doors without exception at all fire/smoke rated wall and ceiling assemblies without exception.

All smoke and/or fire rated partitions and floor/ceiling assemblies will be constructed to the designated UL design without exception. All penetrations and openings are to be sealed with an approved UL design or designated detail without exception. These drawings do not list all the UL designs necessary to maintain a partition's smoke and/or fire rating. It is the responsibility of the General Contractor to ensure all rated partitions and floor/ceiling assemblies fully meet the smoke and/or fire rating requirements without exception.

LIFE SAFETY LEGEND

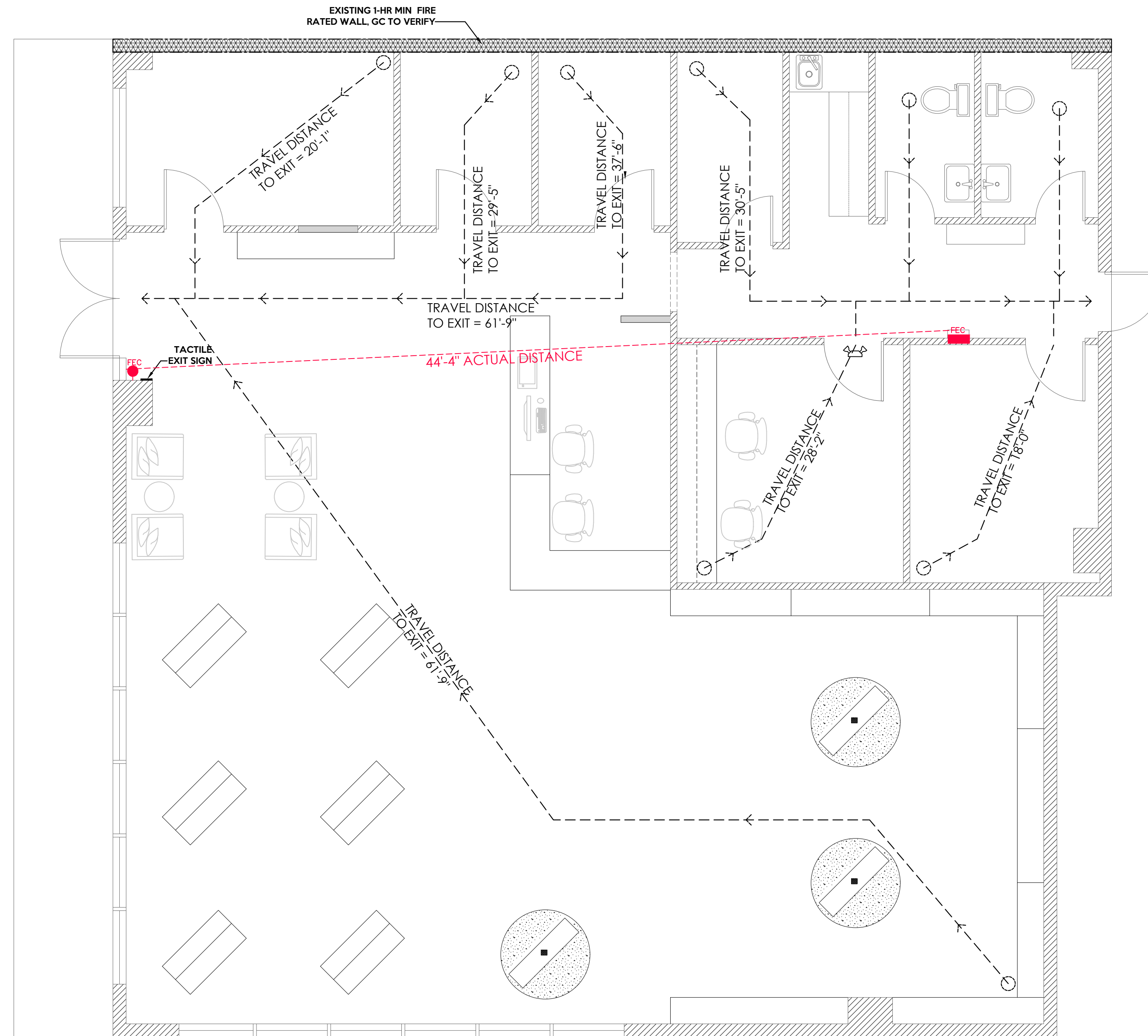
- | | |
|--------|---|
| SYMBOL | DESCRIPTION |
| (00) | OCCUPANT LOAD of ROOM (LISTED BELOW ROOM NAME) |
| <-00-> | OCCUPANT LOAD of EGRESS PATH |
| 00 | OCCUPANT LOAD of OPENINGS |
| 00 | OCCUPANT LOAD within STAIRWAY |
| ● | START POINT |
| → | EGRESS PATH |
| ○ | DECISION POINT/ MAJOR INTERSECTION |
| ⌋ | PANIC HARDWARE EXIT |
| FEC | FIRE EXTINGUISHER CABINET & GENERAL PURPOSE FIRE EXTINGUISHER |
| FEC | GENERAL PURPOSE FIRE EXTINGUISHER (SURFACE MOUNTED) |
| ⌋ | EXIT SIGN CEILING MOUNTED U.N.O.
RE: MEP |
| ⌋ | EMERGENCY ILLUMINATION LIGHT UNIT
RE: MEP |

LIFE SAFETY GENERAL NOTES:

1. ALL SYMBOLS MAY NOT BE USED ON PROJECT

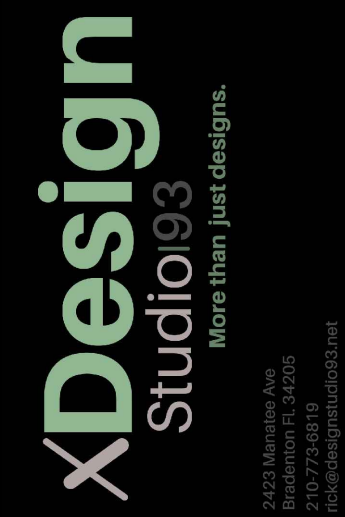
KEYED NOTES

1. EXTINGUISHER DISTANCE= 41'-4"

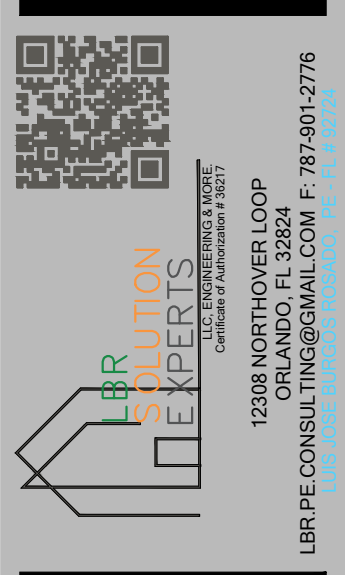


LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"



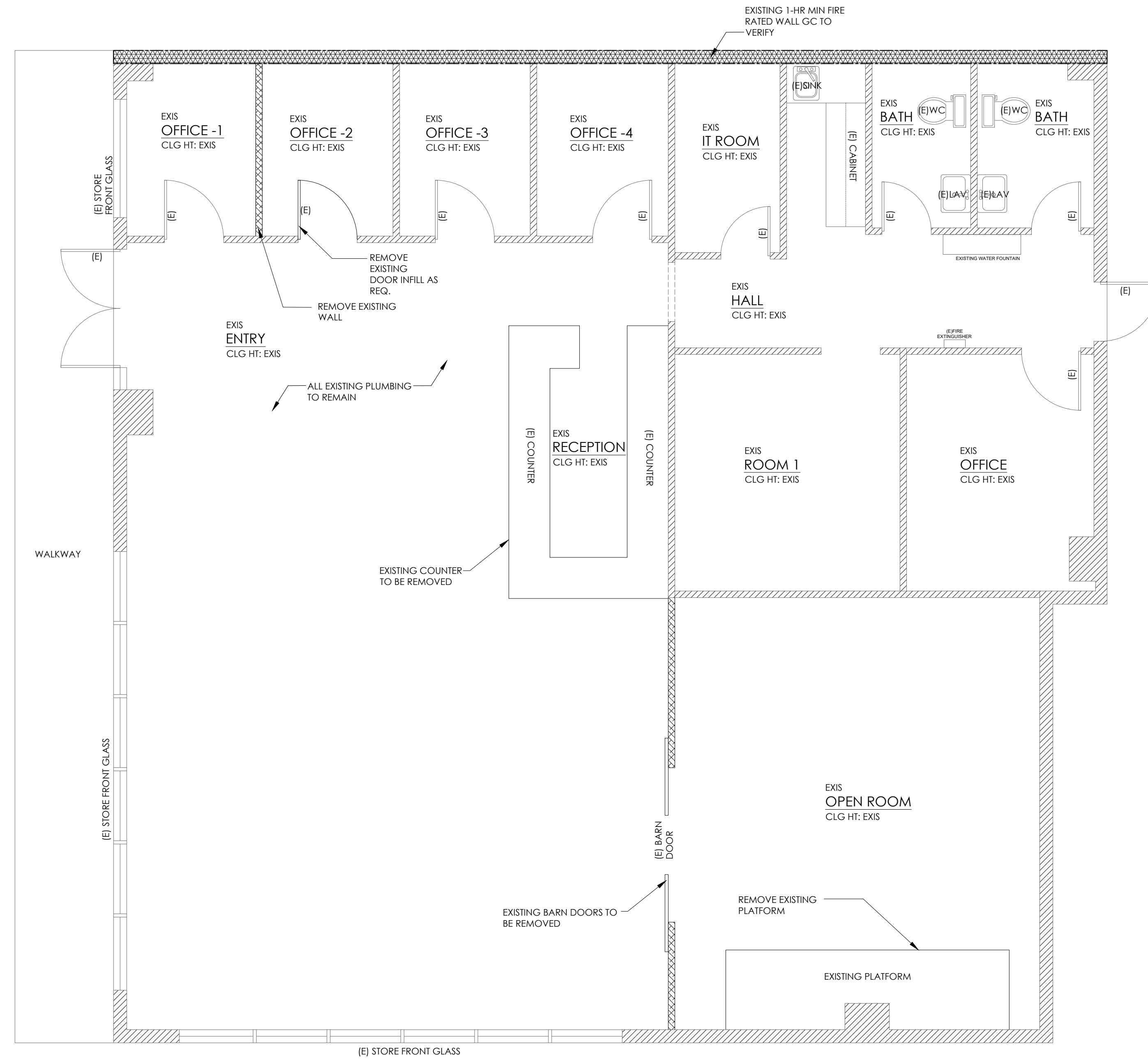
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PROJECT
4232 S TAMAMI TRAIL,
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INTERIOR

REVISIONS
NUMBER 1
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SHEET #

A1.1



EXISTING
FLOOR PLAN W/ DEMO NOTES
 SCALE: 1/4" = 1'-0"

PLAN NOTES:

01. Refer to Index Sheet for typical graphical symbols and abbreviation index.
02. Refer to Mounting Height Sheet for Accessibility Guidelines.
03. N/A
04. In general, all horizontal dimensions are provided on plans, and all vertical dimensions are provided on elevations and/or sections unless otherwise noted.
05. In general, the Overall Plan indicates exterior building dimensions, room numbers and names, door designations, exterior window designations, exterior elevations designations, building section and details designations. All other plan information is indicated on a referenced area or enlarged plans.
06. In general, Area and/or Enlarged Plans indicate interior building dimensions to face of partition material, room numbers and names, door designations, interior window designations, interior detail designations, interior elevations, partition type designations, finish designations, and general building material.
07. When columns and column lines are present, all dimensions are to be tied to a column line. Contractor shall immediately report any omission of dimensions not tied to a column line to the designer prior to start of construction.
08. Coordinate all MEP access panels not shown on architectural construction documents with designer prior to installation.
09. Provide adequate blocking as required at every location where millwork, wall light fixtures, railings, TV brackets, plumbing fixtures, etc. are to be mounted. Items are required to resist 250 pound point load.
10. Contractor to coordinate all items with current ADA requirements and mounting height sheet unless noted otherwise

PLAN LEGEND:

SYMBOL	DESCRIPTION
	AREA NOT IN CONTRACT. NO WORK TO BE DONE IN THIS AREA. PROTECT.
	NEW PARTITION. REFER TO PARTITION SCHEDULE.
	PARTITION REMAINS. PROTECT.
	ONE (1) HOUR FIRE RATED PARTITION.
	TWO (2) HOUR FIRE RATED PARTITION.

LEGEND GENERAL NOTES:

1. NOT ALL SYMBOLS MAY BE USED ON THIS PROJECT. REFER TO PLANS.

WALL LEGEND:

	EXISTING WALLS
	EXISTING FIRE RATED WALL

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PROJECT
 4232 S TAMAMI TRAIL,
 SARASOTA, FL 34231
INTERIOR

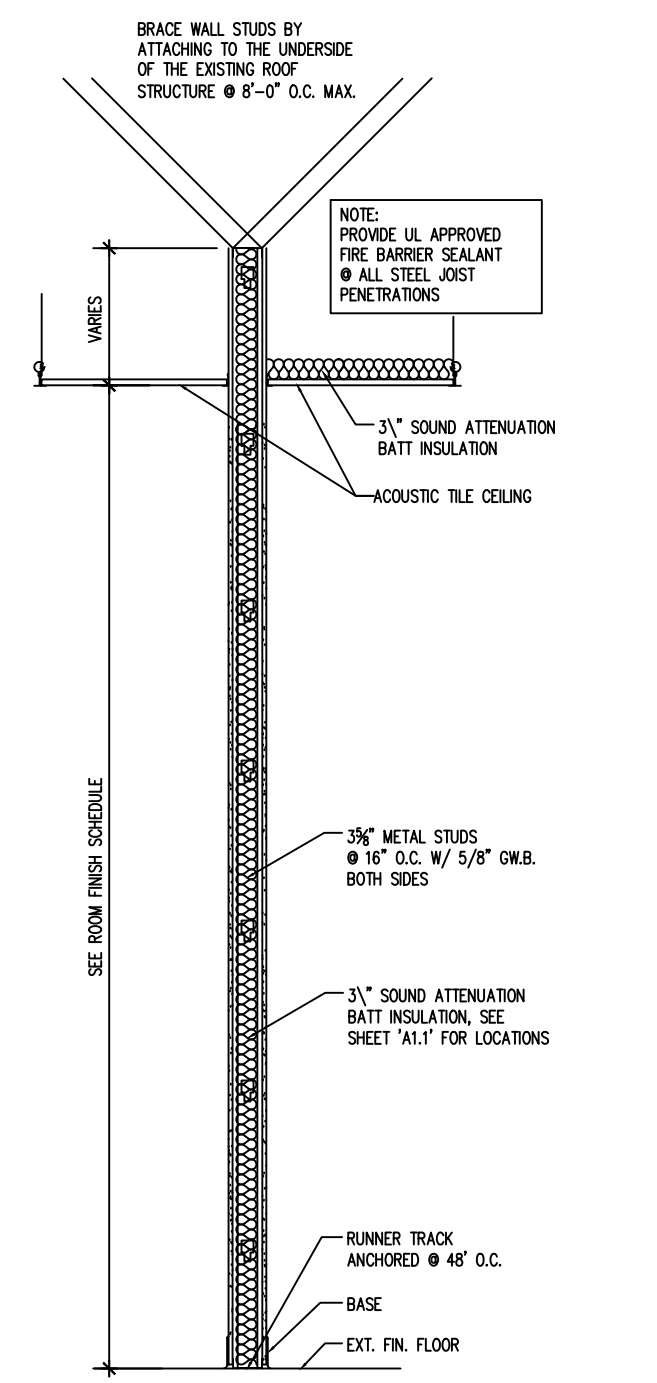
DATE
 February 5, 2023

REVISIONS
 NUMBER
 1

PROJECT:
 DATE: 4/8/2024
 SHEET:

SHEET #

A2.0



W1
SCALE: 1/2" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN NOTES:

1. Refer to Index Sheet for typical graphical symbols and abbreviation index.
2. Refer to Mounting Height Sheet for Accessibility Guidelines.
- 3.
4. In general, all horizontal dimensions are provided on plans, and all vertical dimensions are provided on elevations and/or sections unless otherwise noted.
5. In general, the Overall Plan indicates exterior building dimensions, room numbers and names, door designations, exterior window designations, exterior elevations designations, building section and details designations. All other plan information is indicated on referenced area or enlarged plans.
6. In general, Area and/or Enlarged Plans indicate interior building dimensions to face of partition material, room numbers and names, door designations, interior window designations, interior detail designations, interior elevations, partition type designations, finish designations, and general building material.
7. When columns and column lines are present, all dimensions are to be tied to a column line. Contractor shall immediately report any omission of dimensions not tied to a column line to the designer prior to start of construction.
8. Coordinate all MEP access panels not shown on architectural construction documents with designer prior to installation.
9. Provide adequate blocking as required at every location where millwork, wall light fixtures, railings, TV brackets, plumbing fixtures, etc. are to be mounted. Items are required to resist 250 pound point load.
10. Contractor to coordinate all items with current ADA requirements and mounting height sheet unless noted otherwise

PLAN LEGEND:

SYMBOL	DESCRIPTION
	AREA NOT IN CONTRACT, NO WORK TO BE DONE IN THIS AREA. PROTECT.
	NEW PARTITION. REFER TO PARTITION SCHEDULE.
	PARTITION REMAINS. PROTECT.
	ONE (1) HOUR FIRE RATED PARTITION.
	TWO (2) HOUR FIRE RATED PARTITION.
	REMOVE PARTITION COMPLETELY.
	DOOR REMAINS. PROTECT.
	NEW DOOR. REFER TO NOTES AND/OR SCHEDULE.
	REMOVE DOOR AND FRAME.

LEGEND GENERAL NOTES:

1. NOT ALL SYMBOLS MAY BE USED ON THIS PROJECT. REFER TO PLANS.

WALL LEGEND:

	EXISTING WALLS
	EXISTING WALLS

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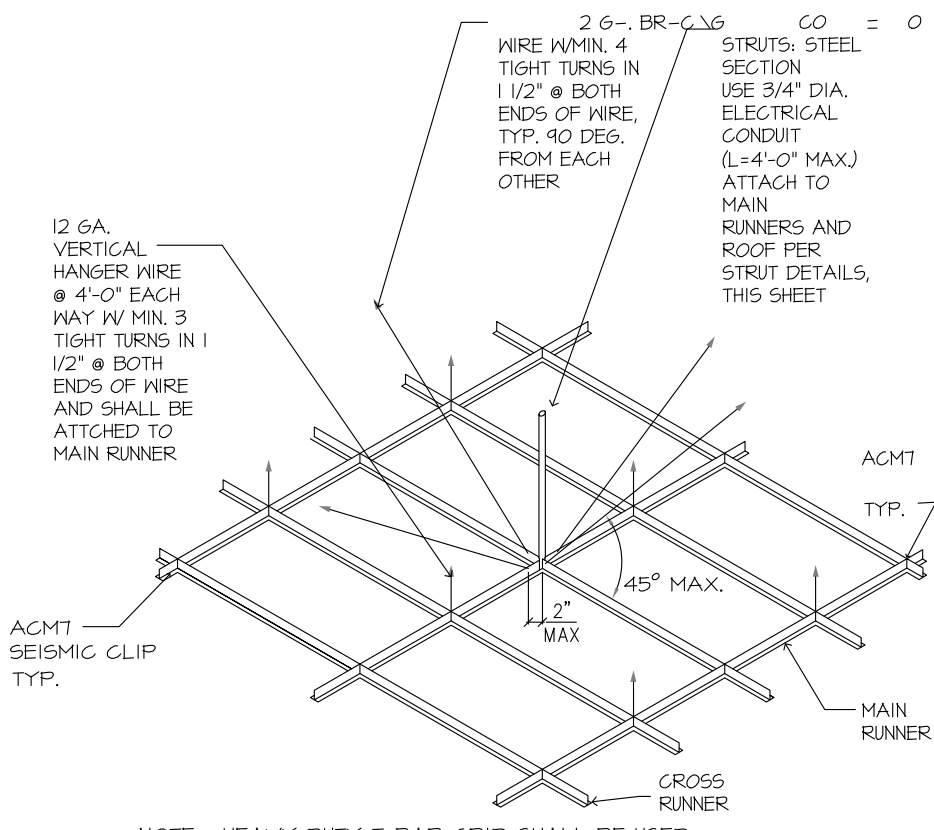
REVISIONS

NUMBER	DATE
1	February 5, 2023

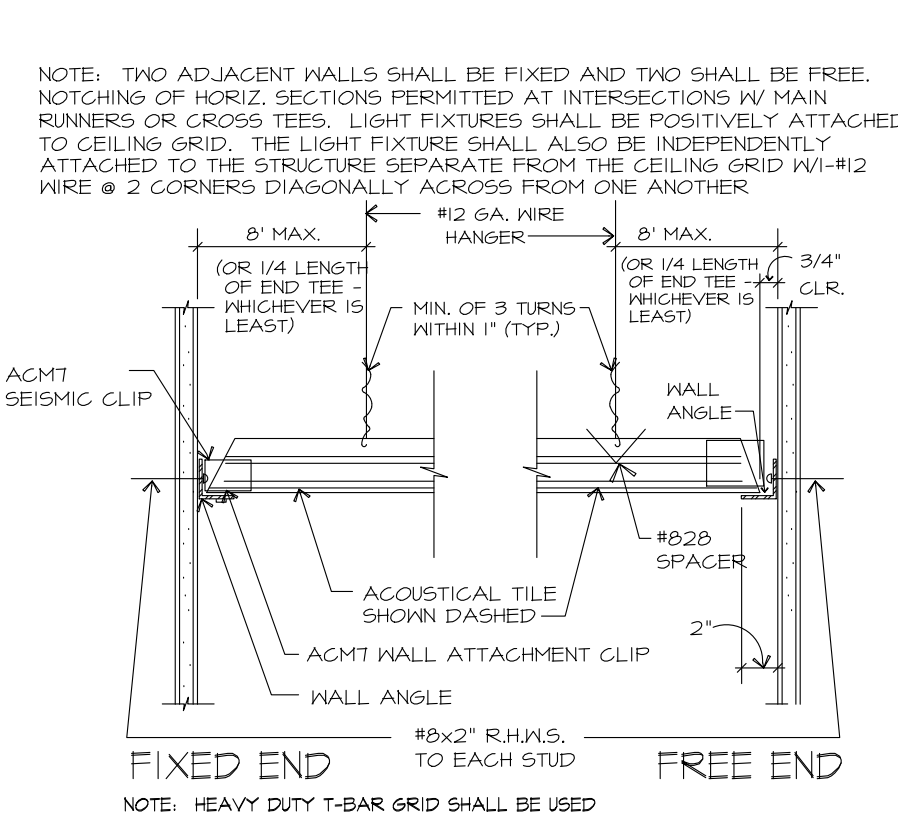
PROJECT:
DATE: 4/8/2024
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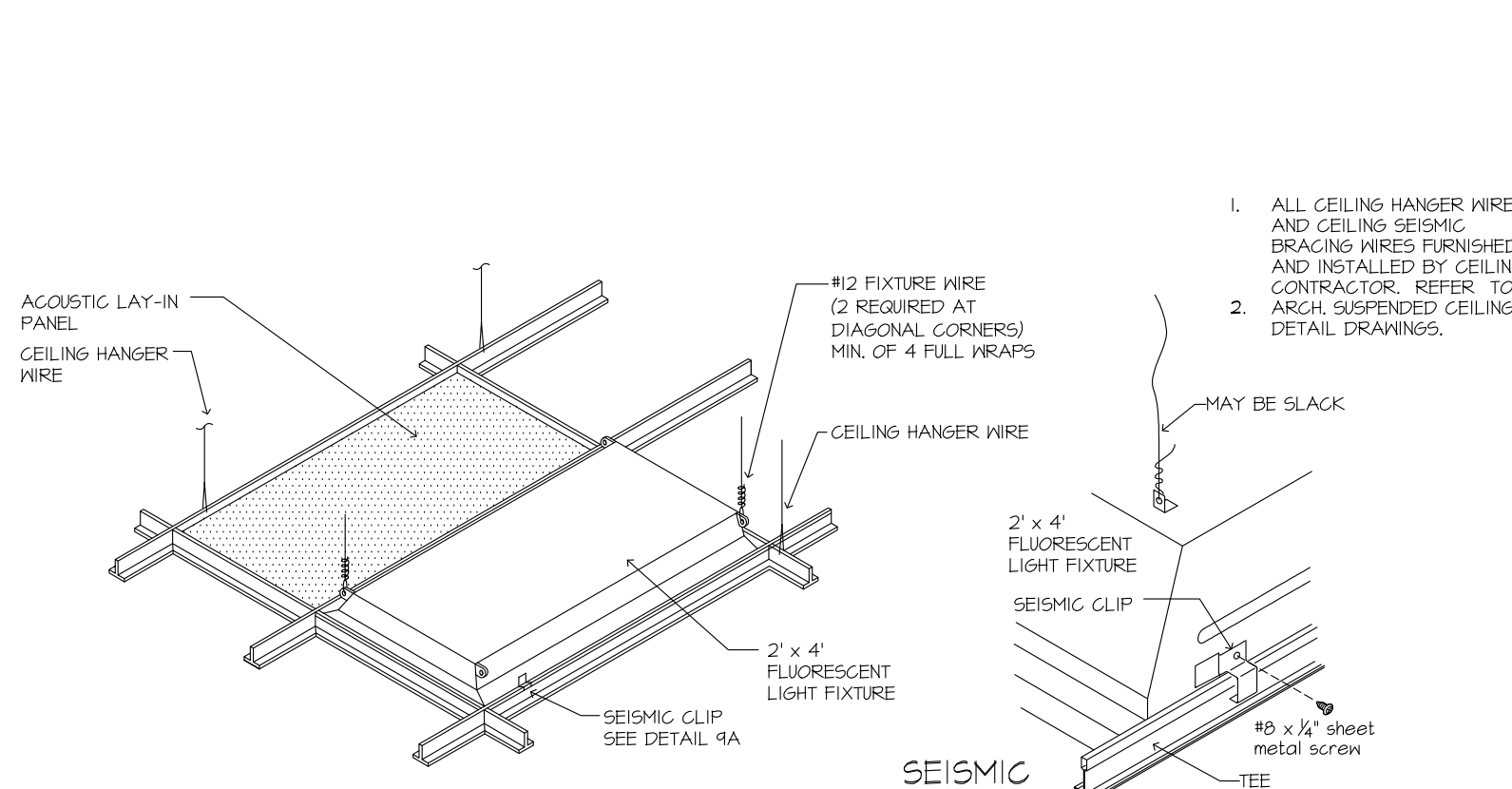
A2.1



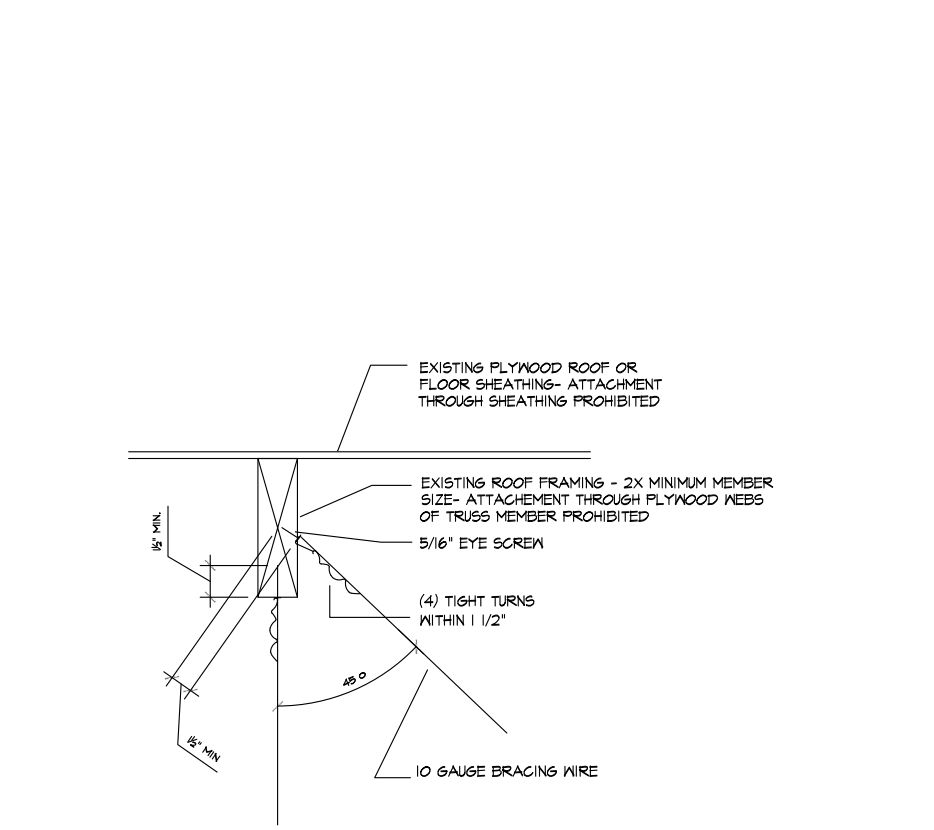
1 SUSPENDED CEILING DETAIL
NOT TO SCALE



2 SUSPENDED CEILING
NOT TO SCALE



3 LIGHT FIXTURE SUPPORT
NOT TO SCALE



4 WIRE BRACING DETAIL
NOT TO SCALE

LIGHTING LEGEND

SYMBOL	DESCRIPTION
	DESCRIPTION: 4x2 LED BLDG. STANDARD MFR: - PRODUCT: - FINISH: - NOTES: -

REFLECTIVE CEILING NOTES:

- Refer to Index Sheet A0.1 for Abbreviation Index and A.0.2 for symbols.
- XX
- All grids to be centered in room U.N.O.
- In general, all horizontal dimensions are provided on plans, and all vertical dimensions are provided on elevations and/or sections unless otherwise noted.
- Coordinate all MEP access panels not shown on architectural construction documents with DESIGNER prior to installation.
- Provide adequate blocking as required at every location where ceiling mounted equipment is to be mounted. Coordinate with all trades to ensure blocking does not interfere with building systems.
- There are items shown, i.e. egress systems, audio systems, security systems, etc., on the MEP drawings or Owner provided consultants drawings that are not drawn on the architectural ceiling plans. Contractor to coordinate and mount all items in a uniform and systematic pattern unless Noted Otherwise. Coordinate with DESIGNER prior to installation.
- FOR SPRINKLER LOCATIONS SEE SEPARATE SPRINKLER PLAN
- Ceilings and all miscellaneous framing for ceilings shall not interfere or degrade any smoke or fire rated partition or wall without exception. Contact Designer immediately if conflicts arise and prior to installation.
- For all new ceilings that are constructed as part of an existing ceiling, use same construction as existing and patch with same material to match existing. New and existing shall align seamlessly.
- Contractor to run all conduit, wiring, raceways, etc. perpendicular or parallel to all beams and joists without exception in all open to structure ceilings.
- Contractor to group all conduit, wiring, raceways, etc. near to each other as much as practical to provide a clean, neat, clutter free and orderly appearance in all open to structure ceilings.
- All fixtures, speakers, or other devices in acoustical ceiling tiles shall be centered in tile. All fixtures, speakers, or other devices in hard ceilings shall be centered and equally spaced Unless Noted Otherwise.

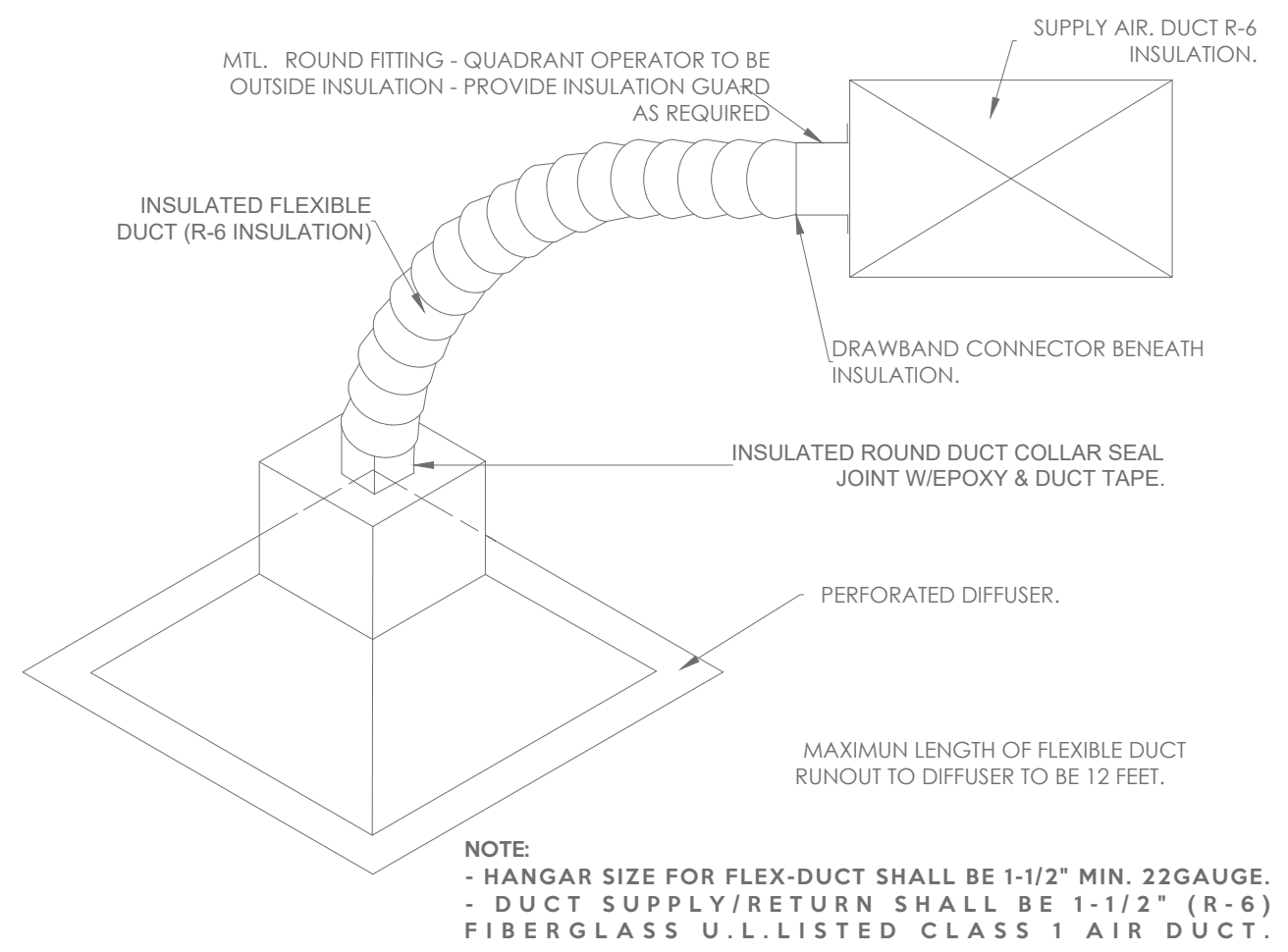
CFM actual - 580 CFM
NEW HAVC CFM - 1,290 CFM
TOTAL - 1,860 CFM
EXISTING EQUIPMENT = 2,000 CFM

G.C TO FIELD VERIFY EXISTING EQUIPMENT 5 TON MIN 7 TON MAX. OTHERWISE CONTACT E.O.R

RCP LEGEND

SYMBOL	DESCRIPTION
	SCHEDULED LAY-IN ACOUSTICAL TILE SUSPENDED CEILING SYSTEM, TYPICAL.
	NOT IN SCOPE OF WORK/ PROTECT
	1/2 THICK GYPSUM BOARD CEILING SYSTEM
	RECESSED CAN LIGHT

- RCP GENERAL NOTES:
- NOT ALL FIXTURES SHOWN IN LEGEND MAY BE USED ON THIS PROJECT.
 - REFER TO MEP DRAWINGS AND SPECIFICATIONS FOR SPECIFIC FIXTURE INFORMATION.



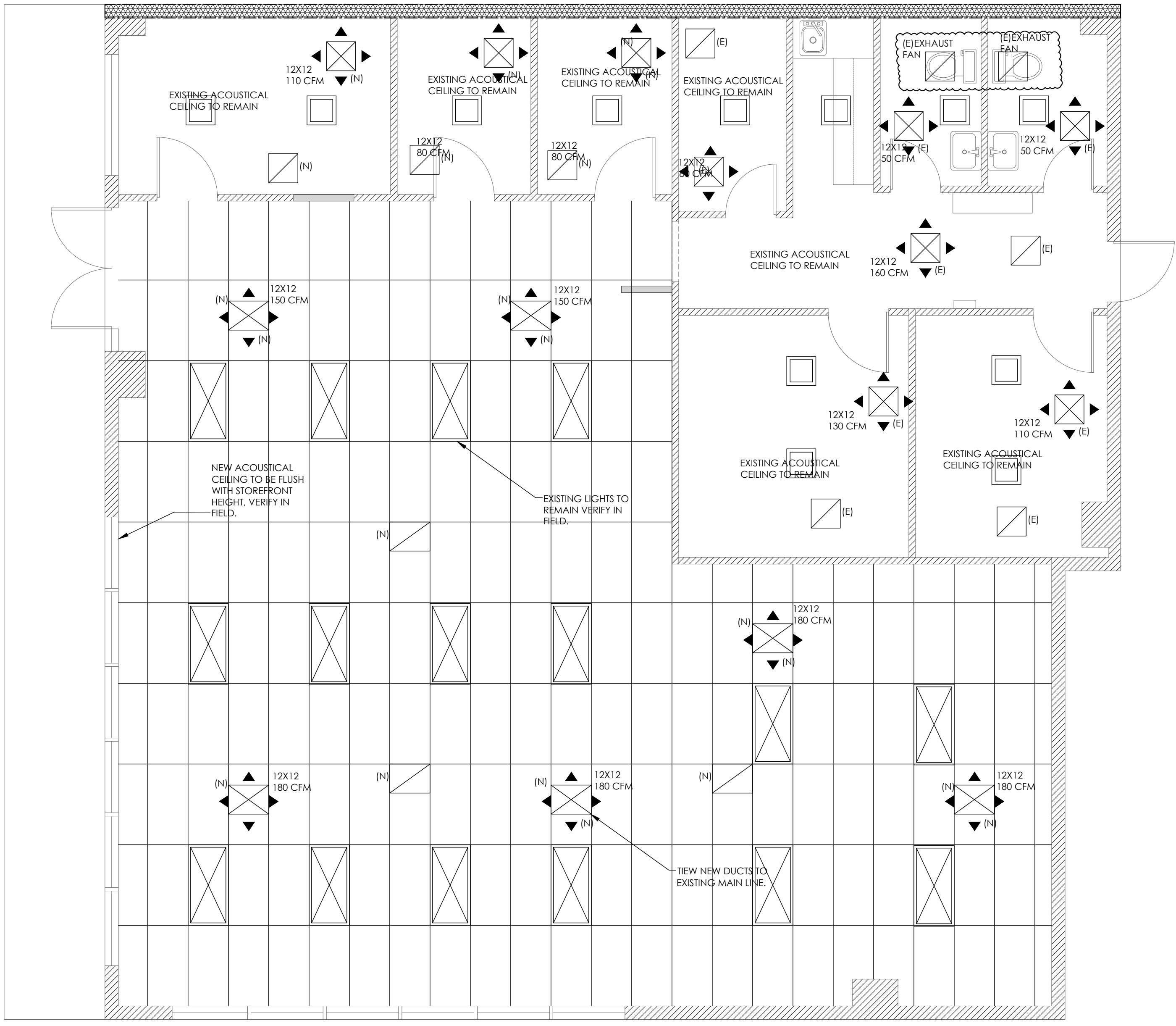
3 TYPICAL FLEXIBLE DUCT CONNECTION
SCALE: NTS

MECHANICAL SCOPE OF WORK
- NEW AC VENTS AND RETURNS - SEE PLAN FOR LAYOUT.

H.V.A.C. NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL CITY CODES OR FBC, RESIDENTIAL CODES CHAPTERS 13, 14, 15, 16, 17, FBC MECHANICAL 2020 7th, AND INCLUDING THE LATEST EDITION OF THE FLORIDA STATE ENERGY CODE REQUIREMENTS FBCR N1101.
- ALL WORK SHALL BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR, WORK TO BE IN THE ACCEPTANCE OF THE OWNER AND THE ENGINEER.
- THE CONTRACTOR SHALL HAVE VISITED THE JOB SITE BEFORE BIDDING AND FAILURE TO DO SO WILL NOT BE ACCEPTED AS A REASON FOR REQUESTING EXTRA PAY IN THE EVENT THAT THE EXISTING CONDITIONS RESULT IN EXTRA MATERIALS OR LABOR.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF MECHANICAL CONSTRUCTION. ANY EXISTING CONDITION FOUND AND/OR DISCREPANCIES FOUND BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER.
- INSULATE REFRIGERANT SUCTION PIPING WITH 1/2" CLOSED CELL POLYETHYLENE PRE-MOLDED PIPE INSULATION.
- UNDERGROUND CONDENSE DRAIN LINE SHALL BE 2" DIA. MINIMUM.
- ALL REFRIGERANT COMPRESSORS SHALL BE WARRANTED FOR A MINIMUM OF 5 YEARS AFTER DATE OF ACCEPTANCE OF THE PROJECT.
- ALL EQUIPMENT AS PER MANUFACTURER RECOMMENDATIONS TO ELIMINATE ANY EQUIPMENT NOISE AND VIBRATION.
- AFTER THE SYSTEM IS INSTALLED CONTRACTOR SHALL CONDUCT AN OPERATIVE TEST FOR APPROVAL AND ACCEPTANCE BY THE OWNER/ENGINEER SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE THEREOF AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP.
- ALL EXHAUST DUCTS SHALL BE CONSTRUCTED OF SHEET METAL, TERMINATE OUTSIDE THE BUILDING, AND BE EQUIPPED WITH A BACK DRAFT DAMPER.
- DUCTS FROM TOILET ROOMS SHALL DISCHARGE TO THE OUTSIDE OF THE BUILDING, SHALL BE TERMINATED NOT LESS THAN 6" ABOVE THE FINISHED ROOF SURFACE AND SHALL BE SCREENED WITH A CORROSION RESISTANT MATERIAL HAVING A MESH SIZE NOT LARGER THAN 1/2". (SEE DTL. FOR GOOSE NECK OR RAIN CAP ON ROOF TERMINATION).
- CLOTHES DRYERS EXHAUST DUCTS OR VENTS SHALL COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS, BE CONSTRUCTED OF A MIN. 26 GAUGE METAL PIPE, HAVING A SMOOTH INTERIOR SURFACE WITH JOINTS RUNNING IN THE DIRECTION OF THE AIR FLOW.
- VENTILATION DUCTWORK SHALL BE GALVANIZED STEEL WITH GAUGES DUCT CONSTRUCTION BRACING AND SUSPENSION IN ACCORDANCE WITH THE RECOMMENDATIONS SET IN THE ASHRAE LATEST EDITION OF THE GUIDE AND SMACNA STANDARDS.

H.V.A.C. DESING REQUIREMENTS		YES	NO
1.	DUCT SMOKE DETECTOR.		●
2.	FIRE DAMPER(S).		●
3.	SMOKE DAMPER(S).		●
4.	FIRE RATED ENCLOSURE.		●
5.	FIRE RATED ROOF CEILING ASSEMBLY.		●
6.	FIRE STOPPING.		●
7.	SMOKE CONTROL.		●



PROPOSED REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

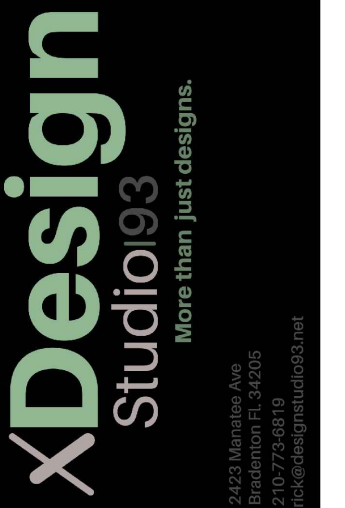
Job Address 4234 S Tamiami Trail
Occupancy Office
Max Occupants 56

ROOM ID	DESCRIPTION	OCCUPANTS	CFM/SQFT From table 403.3.1.1 (Minimum ventilation Rates)			
			AREA (SQFT)	Rp Value	Ra Value	CFM REQ. / CFM Provided
1	Occupants	56				
101	Office 101		116	5	0.06	97
102	Exam room 102		57	5	0.06	48
104	Exam room 103		58	5	0.06	48
	IT Room / Storage		57	5	0.12	48
	Break Room		34	5	0.06	28
	Hall		153	5	0.06	128
	Bath 1		48	5	0.06	40
	Bath 2		48	5	0.06	40
	Exist. Office		110	5	0.06	92
	Entry Hall		180	5	0.06	150
104	Office Lab 104		137	5	0.06	114
105	Showroom 105		406	5	0.06	338
106	Reception 106		111	5	0.06	93
107	Waiting room 107		38	5	0.06	32
108	Sales Area 108		341	5	0.06	284
TOTAL		56	1894			1858 1860

CEILING LEGEND

	REFERENCE MEP PLANS FOR SWITCHES, OCCUPANCY SENSORS, FIXTURE TYPES
	2X4 LIGHT FIXTURE CONTRACTOR TO PROVIDE AND INSTALL
	1X4 LIGHT FIXTURE CONTRACTOR TO PROVIDE AND INSTALL
	EXIT LIGHT FIXTURE, ILLUMINATED, BATTERY BACK UP, CONTRACTOR TO PROVIDE AND INSTALL REF ELECTRICAL LIGHTING SCHEDULE
	CEILING MTD LIGHT FIXTURE CONTRACTOR TO PROVIDE AND INSTALL REF ELECTRICAL LIGHTING SCHEDULE
	CEILING MTD EXHAUST FAN
	SUPPLY AIR DIFFUSER, REF MEPS
	RETURN AIR DIFFUSER, REF MEPS
	EXISTING LIGHTS, GC TO VERIFY IN FIELD

WE HAVE ATTEMPTED TO INCLUDE ALL NECESSARY DETAILS AND PERTINENT INFORMATION ON THESE DRAWINGS. THE CONTR. IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DETAILS AND OTHER INFORMATION PROVIDED ON THESE DRAWINGS. ANY DISCREPANCIES OR OMISSIONS SHOULD BE REPORTED TO DESIGNER IN WRITING PRIOR TO COMMENCEMENT OF WORK.

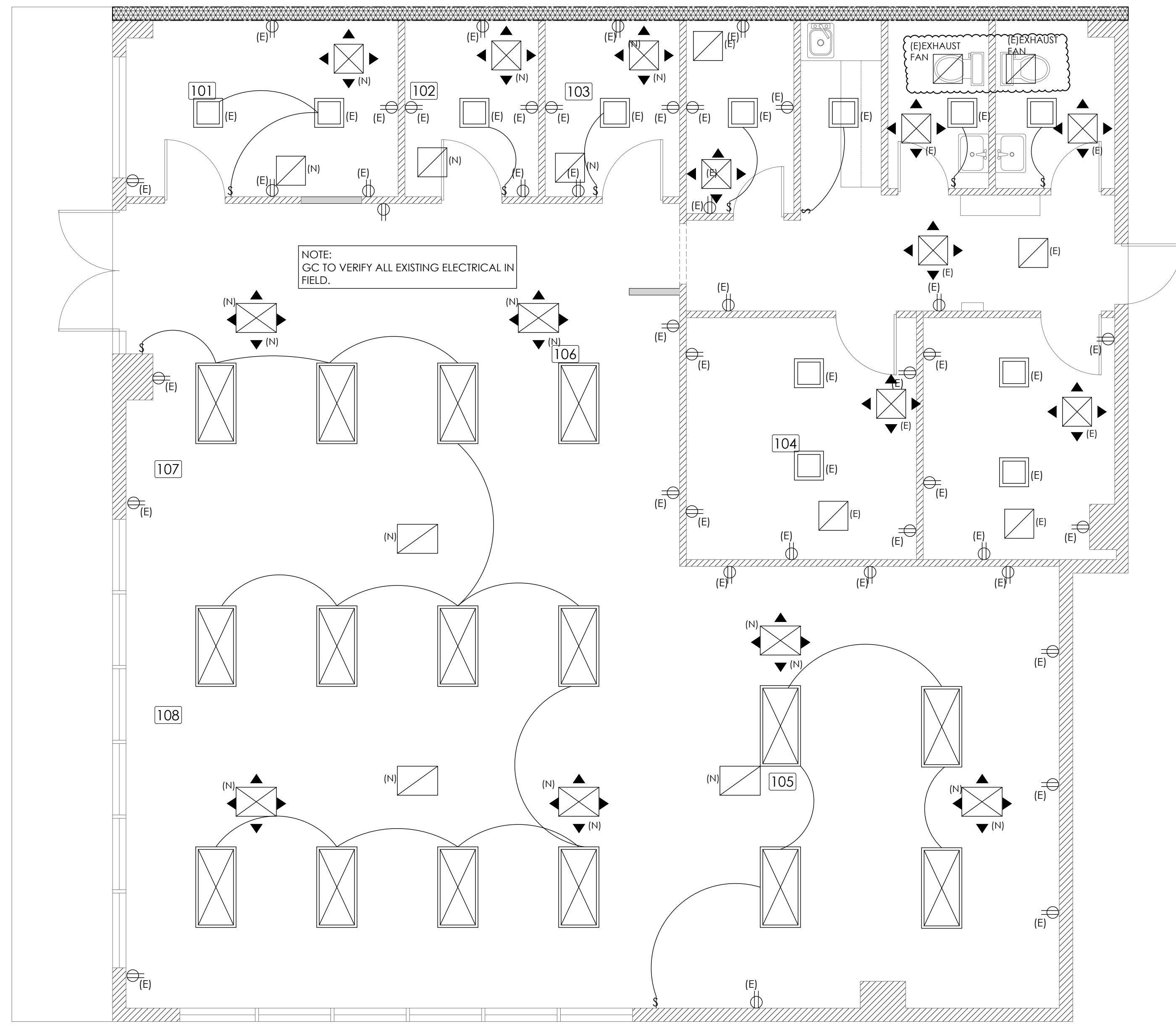


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PROJECT
4232 S TAMAMI TRAIL,
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INTERIOR

REVISIONS
DATE: February 5, 2023
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PROJECT: 4232 S TAMAMI TRAIL
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SHEET #



ELECTRICAL KEY

- DUPLEX OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- DUPLEX OUTLET BELOW COUNTER
- SPLIT SWITCHED OUTLET
- CEILING OUTLET
- FLOOR OUTLET
- SPLIT SWITCHED FLOOR OUTLET
- 4 GANG FLOOR OUTLET
- WEATHER PROOF OUTLET
- 220v OUTLET
- EXHAUST FAN
- EXHAUST FAN / LIGHT
- RECESSED CAN LIGHT
- RECESSED FLUORESCENT
- EYEBALL LIGHT
- VAPOR PROTECTED LIGHT
- RECESSED WALL OUTLET
- RECESSED MR15
- CEILING MOUNT LIGHT FIXTURE
- WALL MOUNT LIGHT FIXTURE
- CEILING LIGHT
- PENDANT LIGHT
- WALL LIGHT
- WALL LIGHT
- SINGLE SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- RHEOSTAT
- CABLE T.V. JACK
- HIGH SPEED INTERNET
- BUTTON
- PHONE JACK
- SMOKE DETECTOR
- SMOKE/CARBON DETECTOR (DIRECT WIRE W/ BATT)
- INTERCOM
- DISCONNECT SWITCH
- ELECTRIC METER
- DIRECT WIRE
- 1 BULB FLUORESCENT
- 2 BULB FLUORESCENT
- VANITY LIGHTS
- JUNCTION BOX
- CHIMES
- FLOOD LIGHT
- JUNCTION BOX
- SPEAKER HARD WIRE
- CENTRAL VACUUM ACCESS
- GAS STUB
- HOSE BIB
- 1-#5 GROUND FOR ELEC
- CENTRAL VAC
- GAS APP W/H
- 300 AMP ELEC PANEL
- 225 AMP ELEC PANEL
- 100 AMP ELEC PANEL
- CEILING FAN W/LIGHT

ELECTRICAL NOTES

1. ALL WORK SHALL COMPLY WITH N.E.C. 2014, F.B.C. 2021 7th EDITION AND ALL OTHER APPLICABLE APPLICABLE CODES AND / OR AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
2. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS MANNER, FULLY OPERATIVE, AND TO THE ACCEPTANCE OF THE OWNER AND THE ENGINEER.
3. THE ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL WIRES, CONDUITS, CONNECTORS, ETC. TO ACHIEVE A COMPLETE ELECTRICAL SYSTEM WHERE ELECTRICAL EQUIPMENT, OUTLET, OR OTHER FEATURES ARE REQUIRED BY CODE, BUT NOT SHOWN ON THE PLANS. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL SAME, AS REQUIRED BY CODE.
4. ALL ELECTRICAL CONDUCTORS SHALL BE COPPER, AND BE PROTECTED IN APPROVED ROMEX.
5. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, APPROVALS, AND INSPECTIONS.
6. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROCURING TEMPORARY POWER DURING CONSTRUCTION ACCESSIBLE TO ALL TRADES.
7. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO CLEARLY LABEL THE CIRCUITS AT THE PANEL WITH THEIR CORRESPONDING AREA CONTROLLED BY THAT CIRCUIT.
8. THESE PLANS CONSTITUTE A COMPLETE SET OF PLANS. THEREFORE NO SECTION STANDS ON ITS OWN. THE ELECTRICAL CONTRACTOR SHALL COORDINATE THIS PLAN WITH ALL OTHER PLANS IN SET AS WELL AS ACTUAL WORK WITH ALL OTHER TRADES, TO MINIMIZE CONFLICTS AT THE JOB SITE.
9. ALL 12-VOLT SINGLE-PHASE, 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PANTRY, LIBRARIES, DENIS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC FAULT PROTECTED BY 210.12(A)(1) THROUGH (6).
10. ANY EXISTING CONDITION FOUND BY THE CONTRACTOR WHICH WILL ADVERSELY AFFECT THE WORK SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT/ENGINEER.
11. MOTORS, TRANSFORMERS AND MECHANICAL EQUIPMENT SHALL BE PROVIDED WITH GREEN FIELD FLEXIBLE CONNECTIONS, WATERTIGHT WHERE EXPOSED TO MOISTURE AND WEATHER CONDITIONS.
12. GENERAL CONTRACTOR TO COORDINATE COMPRESSOR MOUNTING HEIGHT WITH F.F. ELEVATION.
13. ALL OUTLETS MUST BE TAMPERED RESISTANT.
14. LIGHT FIXTURES OTHER THAN LOW VOLTAGE SHALL BE FITTED FOR AND CONTAIN ONLY HIGH EFFICIENCY LAMPS.
15. LIGHT FIXTURES SHALL BE AIR TIGHT AND IC TYPE WHEN INSTALLED NEXT TO INSULATION.
16. INSTALL SHALLOW ELECTRIC BOX WHERE THERE IS NO DROPPED CEILING.

ELECTRICAL FIXTURE LEGEND

	ELECTRIC METER		DISHWASHER OUTLET
	DISCONNECTING SWITCH		PROPOSED SMOKE DETECTOR
	ELECTRICAL PANEL		PROPOSED JUNCTION BOX
	CEILING MOUNT LIGHT FIXTURE		LIGHT SWITCH
	WALL MOUNT LIGHT FIXTURE		3-WAY SWITCH
	DUPLEX OUTLET		PROPOSED SWITCH DIMMER
	SMALL APPLANCE OUTLET		WATER PROTECTED
	WEATHERPROTECTED DUPLEX OUTLET		GROUND FAULT INDICATOR
	GFI 110V DUPLEX OUTLET		EXISTING
	NEW		REPLACE
	GARBAGE DISPOSAL OUTLET		

FOR PROPOSED BATHROOM

NOTE: ALL OUTLETS MUST BE TAMPERED RESISTANT RECEPTACLES AS PER NEC 408.12.

NOTE: ALL CIRCUITS TO BE AFCI AS PER NEC 210.12(A).

NOTE: A MIN. OF 75% LAMPS TO BE HIGH EFFICACY TYPE AS PER FBC 916.14.

NOTE: GFI AT ALL BATHROOMS KITCHEN AND PORCH AS PER 210.12(A).

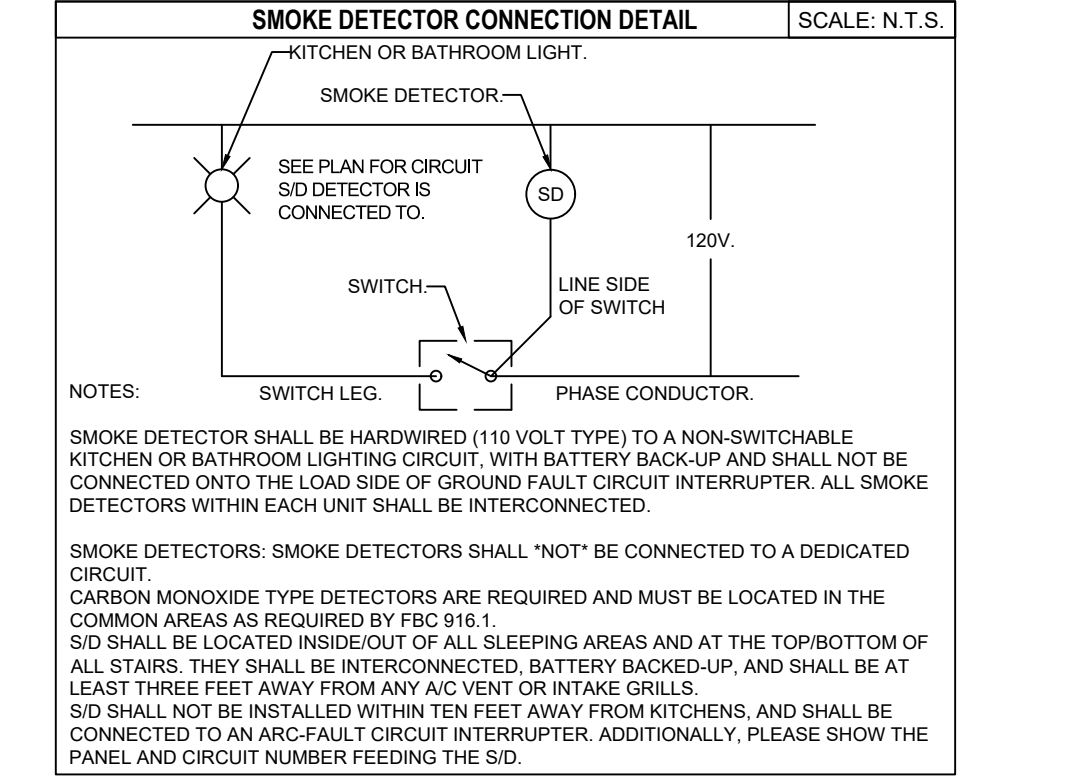
NOTE: OUTSIDE GFI TO BE EXTRA DUTY RATED COVERS AS PER 408.10(1).

NOTE: ALL 15A, 20A, 125V RECEPTACLES LOCATED WITHIN AN ARC WATERTIGHT MEANS OF PROTECTION (KITCHEN) 210.8(A)(7), NEC 2014 (READILY ACCESSIBLE).

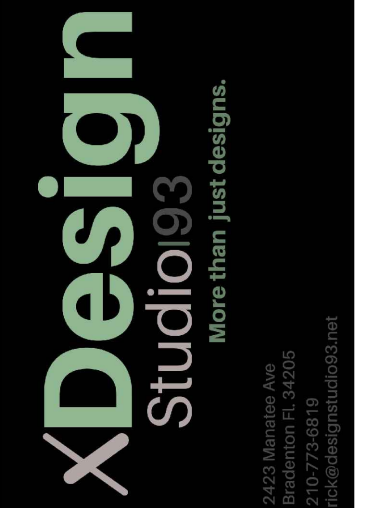
NOTE: LIGHTING IN THE THERMAL ENVELOPE SHALL BE IC RATED AND MEETING ASTM 263 FOR LEAKAGE LABELED "AIR TIGHT" AND HOUSING SHALL BE SEALED WITH A GASKET OR CAULK TO CEILING OR WALL, R402.1.

NOTE: CEILING TOP AT PENINSULA CANNOT EXTEND MORE THAN 6" FROM ITS SUPPORT BASE AND RECEPTACLE CANNOT BE INSTALLED 12" BELOW THE COUNTER SPACE.

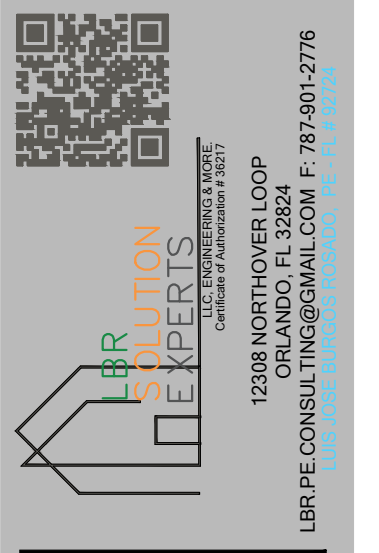
NOTE: PROVIDE GFCI AFCI COMBINATION BREAKER FOR DISHWASHER, DISPOSAL, MICROWAVE AND WASHER.



PROPOSED
ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



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PROJECT
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SARASOTA, FL 34231
INTERIOR

REVISIONS	DATE	DESCRIPTION
NUMBER	February 5, 2023	
1		
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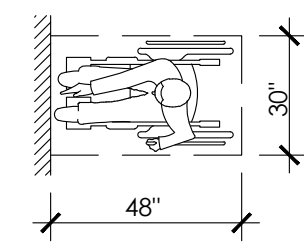
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1. SPACE ALLOWANCES & REACH RANGES

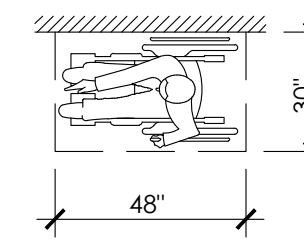
CLEAR FLOOR SPACE
THE MINIMUM CLEAR FLOOR OR GROUND SPACE SHALL BE 30" MINIMUM BY 48" MINIMUM.

FORWARD REACH
IF THE CLEAR FLOOR SPACE ONLY ALLOWS FORWARD APPROACH TO AN OBJECT, THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL BE 48". THE MINIMUM LOW FORWARD REACH IS 15". IF THE FORWARD REACH IS OVER AN OBSTRUCTION, THE REACH & CLEARANCES SHALL BE AS SHOWN IN FIG. 1(c) AND 1(d).

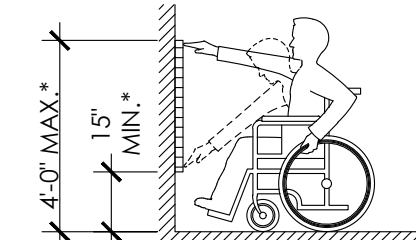
SIDE APPROACH
IF THE CLEAR FLOOR SPACE ALLOWS PARALLEL APPROACH BY A PERSON ON A WHEELCHAIR, THE MAXIMUM HIGH SIDE REACH ALLOWED SHALL BE 54" AND THE LOW SIDE REACH SHALL BE NO LESS THAN 9" ABOVE THE FLOOR. SEE FIG. 1(e), 1(f), AND 1(g).



CLEAR FLOOR SPACE FORWARD FIG. 1(a)

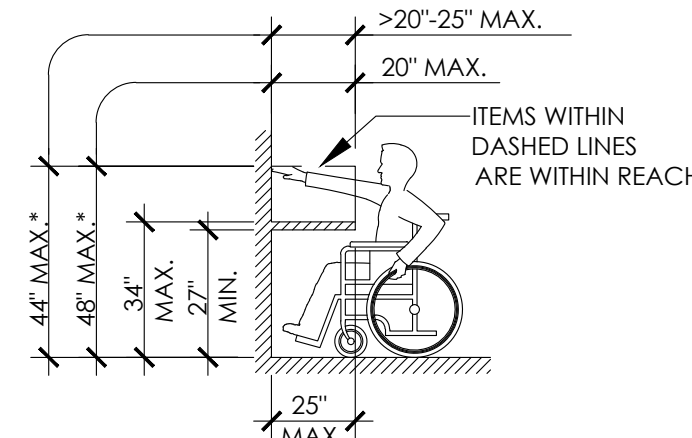


CLEAR FLOOR SPACE PARALLEL FIG. 1(b)



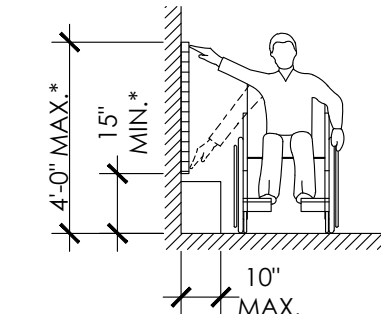
UNOBSTRUCTED FORWARD REACH FIG. 1(c)

NOTE: THESE DIMENSIONS INDICATE THE MINIMUM AND MAXIMUM MOUNTING HEIGHTS OF ALL CONTROLS AND OPERABLE DEVICES. NO EXCEPTIONS.



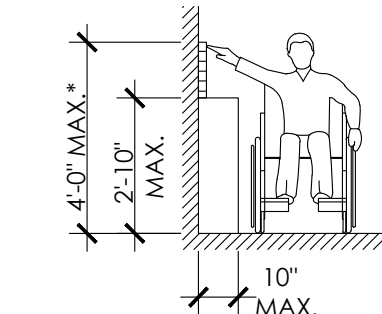
OBSTRUCTED HIGH FORWARD REACH FIG. 1(d)

NOTE: CLEAR KNEE SPACE BELOW THE OBSTRUCTION SHALL BE AT LEAST AS DEEP AS THE REACH DISTANCE. SEE NOTE ON FIG. 1(c).



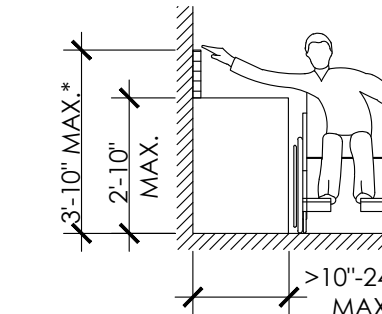
UNOBSTRUCTED SIDE REACH FIG. 1(e)

NOTE: SEE NOTE ON FIG. 1(c).



OBSTRUCTED SIDE REACH FIG. 1(f)

NOTE: SEE NOTE ON FIG. 1(c).



OBSTRUCTED SIDE REACH FIG. 1(g)

NOTE: SEE NOTE ON FIG. 1(c).

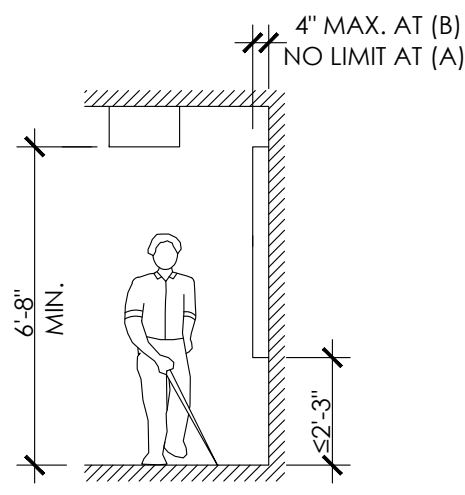
2. PROTRUDING OBJECTS

GENERAL
OBJECTS PROJECTING FROM WALLS (FOR EXAMPLE TELEPHONES) WITH THEIR LEADING EDGES BETWEEN 27" AND 80" ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES. SEE FIG. 2(a).

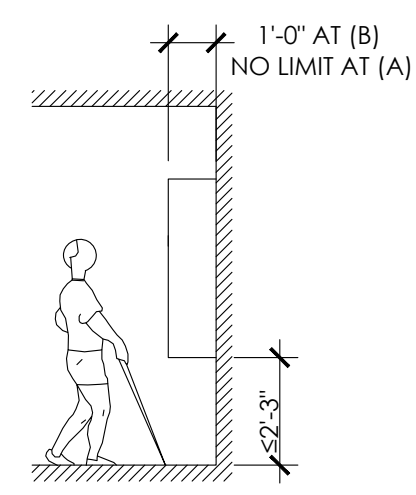
OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27" ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT. SEE FIG. 2(a) AND 2(b).

FREE-STANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12" MAXIMUM FROM 27" TO 80" ABOVE THE GROUND FLOOR. SEE FIG. 2(c), (d).

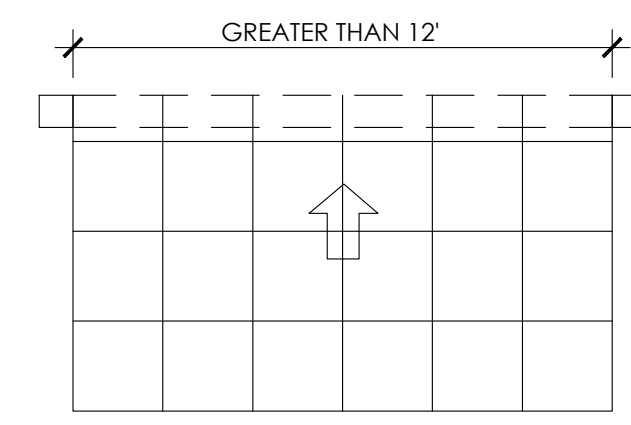
PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE. SEE FIG. 2(g).



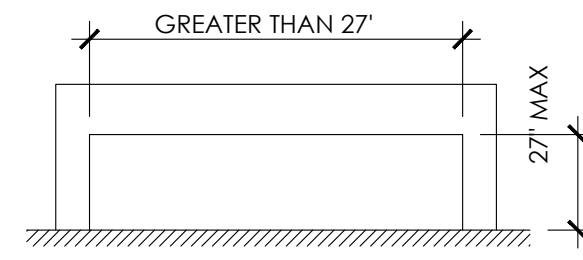
LIMITS OF PROTRUDING OBJECTS FIG. 2(a)



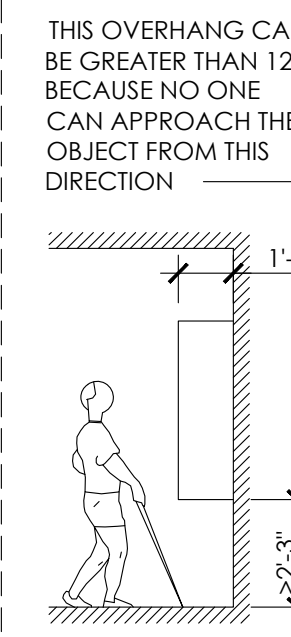
WALKING PERPENDICULAR TO WALL OR POLE MOUNTED OBJECT FIG. 2(b)



PLAN FIG. 2(c)

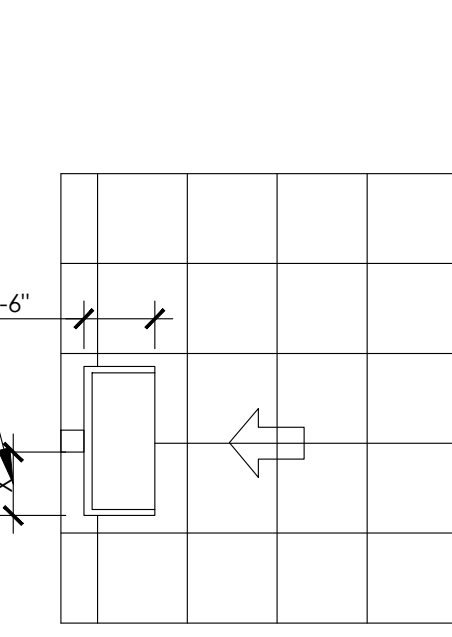


ELEVATION FIG. 2(d)

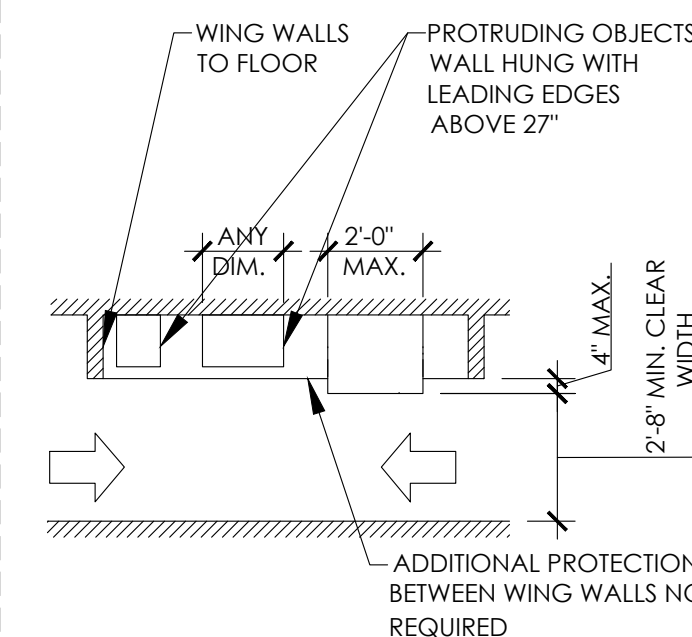


ELEVATION FIG. 2(e)

THIS OVERHANG CAN BE GREATER THAN 12" BECAUSE NO ONE CAN APPROACH THE OBJECT FROM THIS DIRECTION



ELEVATION FIG. 2(f)



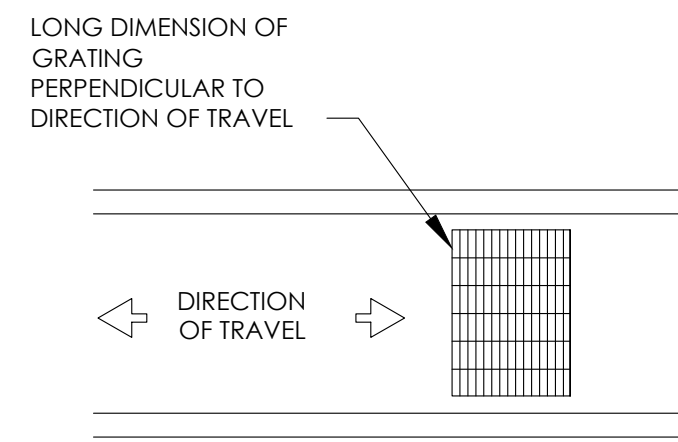
PLAN PROTECTION AROUND WALL MOUNTED OBJECTS FIG. 2(g)

3. GROUND & FLOOR SURFACES

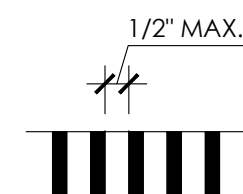
GRATINGS
IF GRATINGS HAVE ELONGATED OPENINGS, THEN THEY SHALL BE PLACED SO THAT THE LONG DIRECTION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL. SEE FIG. 3(a). IF GRATINGS ARE LOCATED IN WALKING SURFACES OR ALONG ACCESSIBLE ROUTES, THEN THEY SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN ONE DIRECTION. SEE FIG. 3(b)

CARPET
IF CARPET OR CARPET TILE IS USED ON A GROUND OR FLOOR SURFACE, THEN IT SHALL BE SECURELY ATTACHED; HAVE A FIRM CUSHION, PAD, OR BACKING, OR NO CUSHION OR PAD; AND HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/UNCUT PILE TEXTURE. THE MAXIMUM PILE THICKNESS SHALL BE 1/2" IN. SEE FIG. 3(c). EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE.

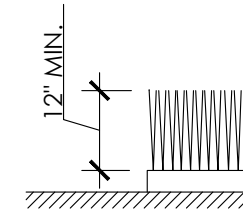
CHANGES IN LEVEL
CHANGES IN LEVEL UP TO 1/4" MAY BE VERTICAL AND WITHOUT EDGE TREATMENT. SEE FIG. 3(d). CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. SEE FIG. 3(e).



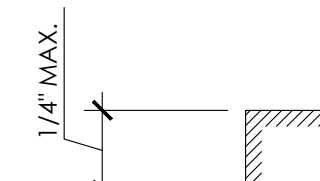
PLAN GRATING ORIENTATION FIG. 3(a)



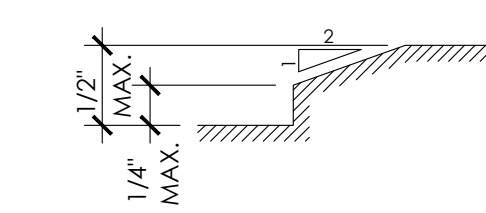
GRATING FIG. 3(b)



CARPET PILE THICKNESS FIG. 3(c)



CHANGES IN LEVEL FIG. 3(d)



CHANGES IN LEVEL FIG. 3(e)

4. PARKING AND PASSENGER LOADING ZONES

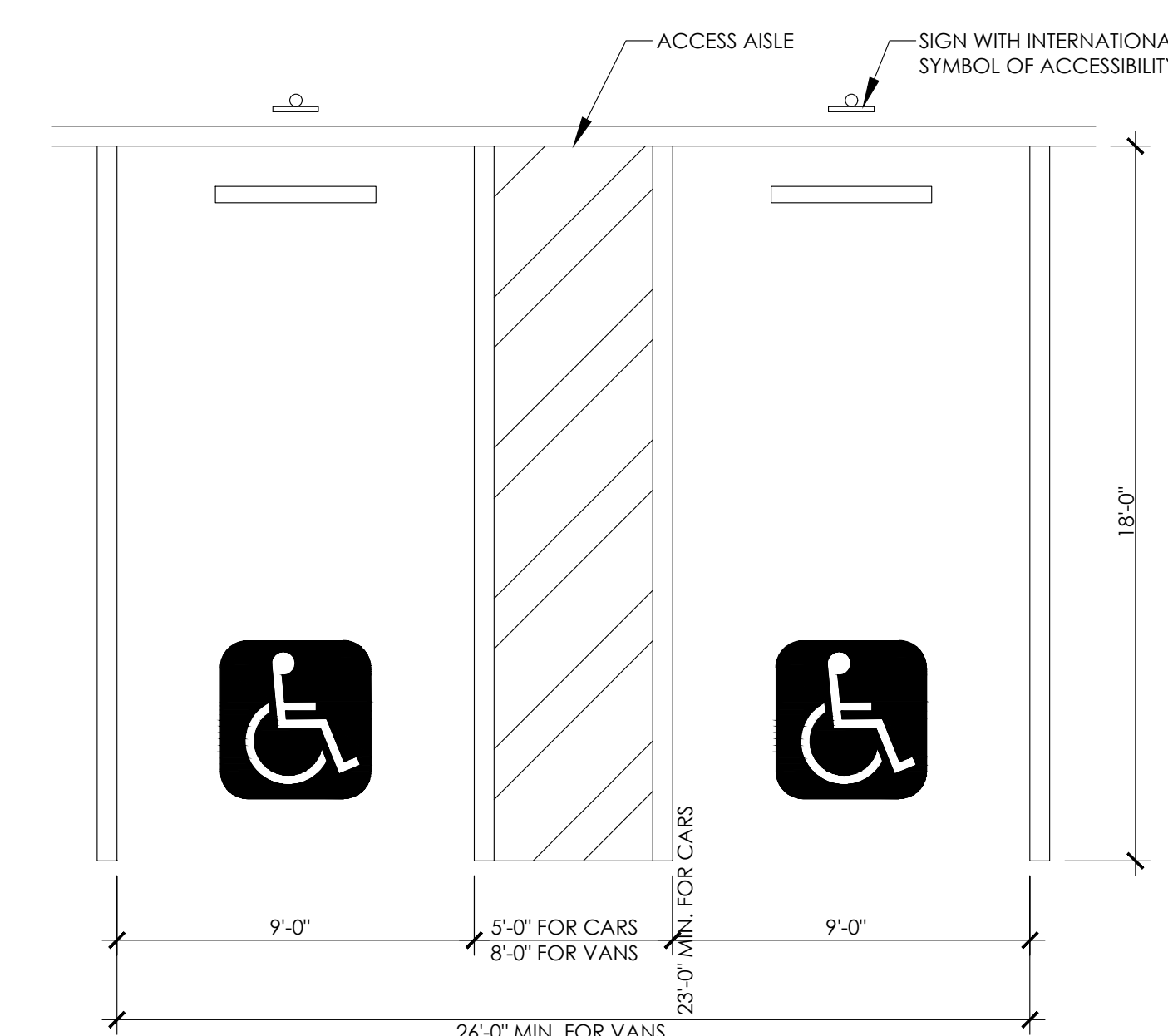
PARKING SPACES
ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 96" WIDE. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS. TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. SEE FIG. 4(a). PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE. PARKING SPACES AND ACCESS AISLES BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.

SIGNAGE
EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A VERTICALLY MOUNTED OR SUSPENDED SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. REFERENCE THE APPLICABLE ACCESSIBILITY STANDARDS. SPACES COMPLYING WITH APPLICABLE ACCESSIBILITY STANDARDS SHALL HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY.

- 1. CHARACTERS AND SYMBOLS ON SUCH SIGNS SHALL BE LOCATED 60" MINIMUM ABOVE THE GROUND, FLOOR, OR PAVING SURFACE SO THEY CANNOT BE OBTSCURED BY A VEHICLE PARKED IN THAT SPACE.
- 2. SIGNS LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS.
- 3. CHARACTERS AND SYMBOLS ON OVERHANG SIGNS SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS.

VERTICAL CLEARANCE
PROVIDE MINIMUM VERTICAL SPACE CLEARANCE OF 114" AT ACCESSIBLE PASSENGER LOADING ZONES AND ALONG AT LEAST ONE VEHICLE ACCESS ROUTE TO SUCH AREAS FROM SITE ENTRANCE(S) AND EXIT(S), AT PARKING SPACES COMPLYING WITH THE APPLICABLE ACCESSIBILITY STANDARDS. PROVIDE MINIMUM VERTICAL CLEARANCE OF 98" AT THE PARKING SPACE AND ALONG AT LEAST ONE VEHICLE ACCESS ROUTE TO SUCH SPACES FROM SITE ENTRANCE(S) AND EXIT(S).

PASSENGER LOADING ZONES
PASSENGER LOADING ZONES SHALL PROVIDE AN ACCESS AISLE AT LEAST 60" WIDE AND 20' LONG, ADJACENT AND PARALLEL TO THE VEHICLE PULL-UP SPACE. IF THERE ARE CURBS BETWEEN THE ACCESS AISLE AND THE VEHICLE PULL-UP SPACE, THEN A CURB RAMP COMPLYING WITH THE APPLICABLE ACCESSIBILITY STANDARDS SHALL BE PROVIDED. VEHICLE STANDING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.



ADA PARKING SPACES FIG. 4(a)

NOTE: SURFACE SLOPE AT ADA PARKING IS LIMITED TO 2% MAX. IN ANY DIRECTION



SIGN FOR CARS



SIGN FOR VANS

PARKING IDENTIFICATION SIGNS FIG. 4(b)

NOTE: SEE ADA/TAS STANDARDS FOR SIGN, LETTER COLOR, AND SIZE REQUIREMENTS

GENERAL NOTES ON ADA DETAIL SHEETS

- 1. ALL CONSTRUCTION SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE "ADA STANDARDS FOR ACCESSIBLE DESIGN", AND ANY AND ALL OTHER APPLICABLE ACCESSIBILITY STANDARDS.
- 2. THE INFORMATION PRESENTED IN THESE SHEETS IS FOR REFERENCE ONLY. REFER TO "ADA STANDARDS FOR ACCESSIBLE DESIGN" FOR ANY AND ALL CLEARANCES, DIMENSIONS, TOLERANCES, ETC THAT ARE TO BE APPLIED TO THE PROJECT.
- 3. WHERE A DISCREPANCY OCCURS BETWEEN THE REFERENCES PRESENTED ON THESE SHEETS AND THOSE STATED ON THE "ADA STANDARDS FOR ACCESSIBLE DESIGN" AND THOSE STATED ON THE "ADA STANDARDS FOR ACCESSIBLE DESIGN"
- 4. THE CONTRACTORS IS TO UTILIZE EXTREME CARE TO ENSURE THAT ALL TOLERANCES, DIMENSIONS, AND CLEARANCES ARE BUILT ACCURATELY AND WITHOUT DEVIATION.
- 5. THE CONTRACTOR IS TO TAKE ANY AND ALL ACTIONS NECESSARY TO CORRECT THE CONDITIONS WHICH IN THE REVIEW OF THE STATE ACCESSIBILITY INSPECTOR, ARE IN VIOLATION OF THE ACCESSIBILITY STANDARDS AS REQUIRED. THESE CORRECTIVE ACTIONS ARE THE DIRECT AND SOLE RESULT OF DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS, THE APPLICABLE ACCESSIBILITY STANDARDS, OR INADEQUATE CONSTRUCTION CONTROL AND/OR TOLERANCES.

WE HAVE ATTEMPTED TO INCLUDE ALL NECESSARY DETAILS AND PERTINENT INFORMATION ON THESE DRAWINGS. THE CONTR. IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DETAILS AND OTHER INFORMATION PROVIDED ON THESE DRAWINGS. ANY DISCREPANCIES OR OMISSIONS SHOULD BE REPORTED TO DESIGNER IN WRITING PRIOR TO COMMENCEMENT OF WORK.

5. DOORS

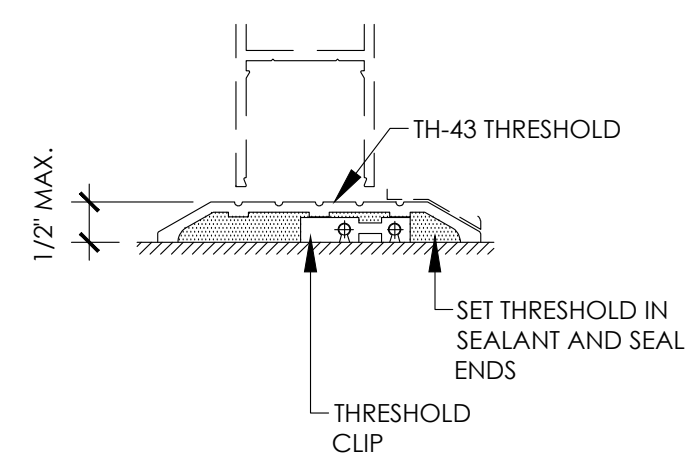
THRESHOLDS AT DOORWAYS
 THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2" FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVELS CHANGES AT ACCESSIBLE DOORWAYS SHALL BE LEVELED WITH A SLOPE NO GREATER THAN 1:2.

DOOR HARDWARE
 HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISHED FLOOR.

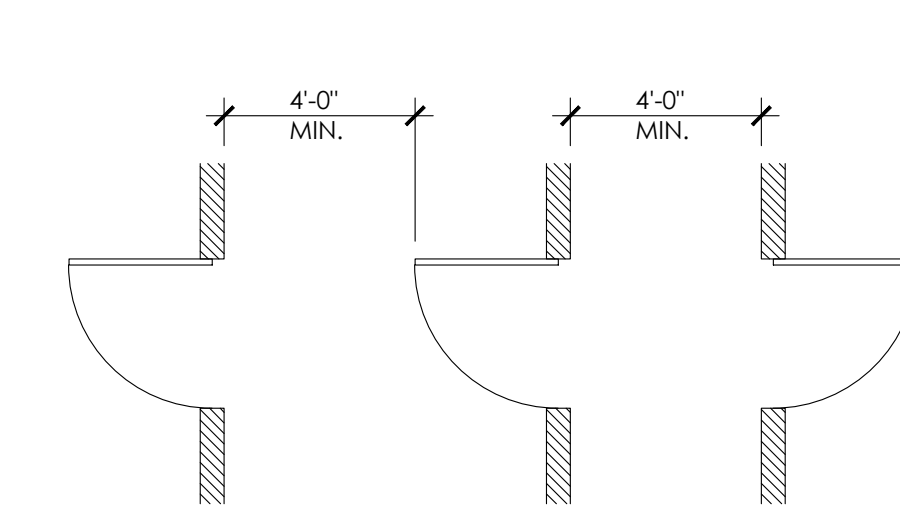
DOOR CLOSER
 IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.

DOOR OPENING FORCE
 THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:
 1. FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.
 2. OTHER DOORS:
 a. EXTERIOR HINGED DOORS: (RESERVED)
 b. INTERIOR HINGED DOORS: 5 LBF [22.2N]
 c. SLIDING OR FOLDING DOORS: 5 LBF [22.2N]

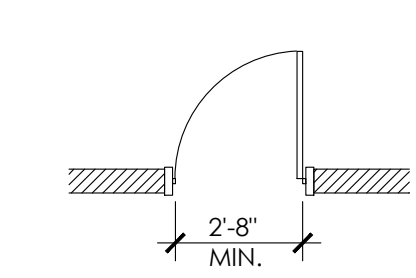
THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT MY HOLD THE DOOR IN A CLOSED POSITION.



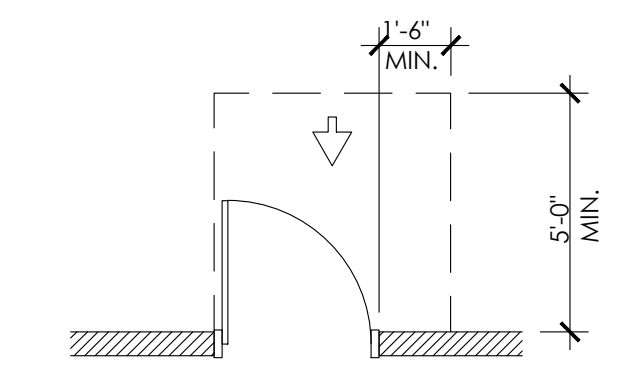
DOOR THRESHOLD DETAIL FIG. 5(a)



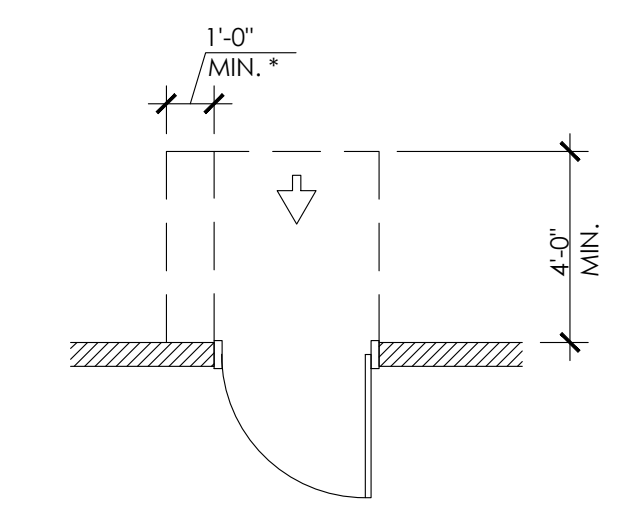
CLEARANCES FOR DOOR IN SERIES FIG. 5(b)



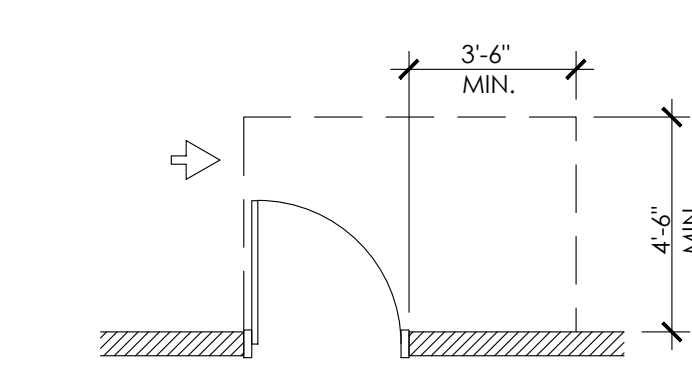
CLEAR DOORWAY WIDTH FIG. 5(c)



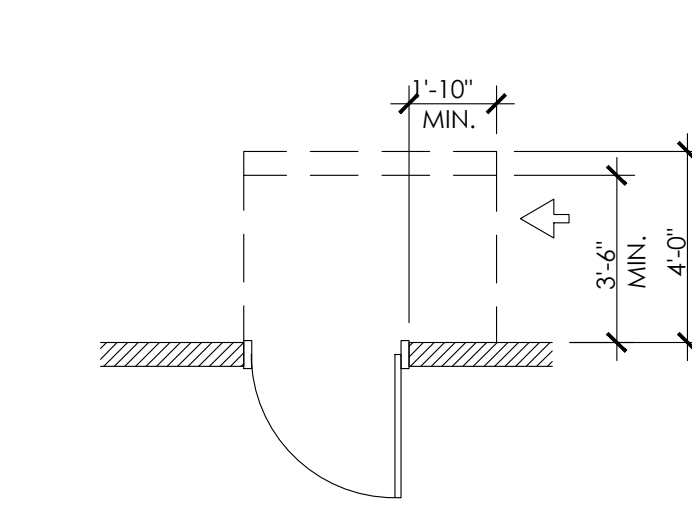
MANEUVERING CLEARANCES FRONT APPROACH, PULL SIDE FIG. 5(d)



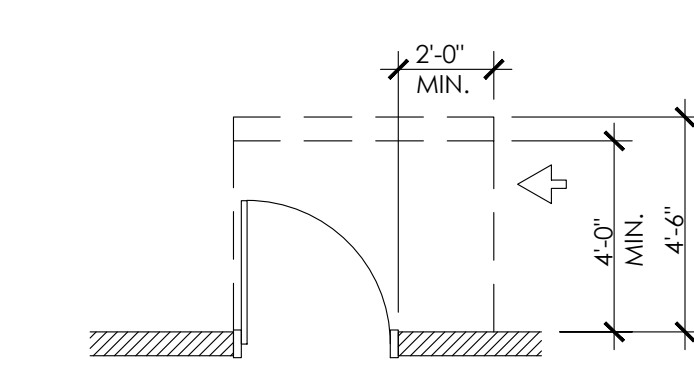
FRONT APPROACH, PUSH SIDE *FRONT APPROACH, PUSH SIDE, DOOR PROVIDED WITH BOTH CLOSER AND LATCH FIG. 5(g)



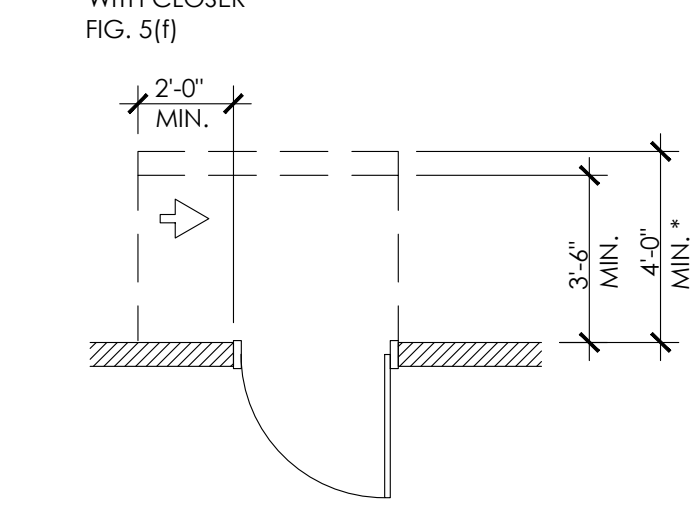
HINGE APPROACH, PULL SIDE FIG. 5(e)



HINGE APPROACH, PUSH SIDE *HINGE APPROACH, PUSH SIDE, DOOR PROVIDED WITH BOTH CLOSER AND LATCH FIG. 5(h)



LATCH APPROACH, PULL SIDE *LATCH APPROACH, PULL SIDE, DOOR PROVIDED WITH CLOSER FIG. 5(f)



LATCH APPROACH, PUSH SIDE *LATCH APPROACH, PUSH SIDE, DOOR PROVIDED WITH CLOSURE FIG. 5(i)

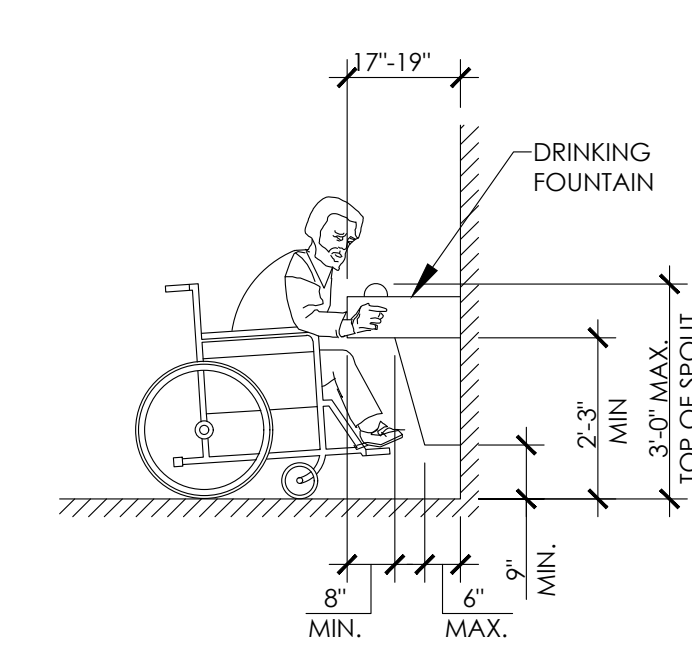
6. DRINKING FOUNTAINS & WATER COOLERS

SPOUT LOCATION
 THE SPOUTS OF DRINKING FOUNTAINS & WATER COOLERS SHALL BE AT THE FRONT OF THE UNIT & SHALL DIRECT THE WATER FLOW IN A TRAJECTORY THAT IS PARALLEL OR NEARLY PARALLEL TO THE FRONT OF THE UNIT. THE SPOUT SHALL PROVIDE A FLOW OF WATER AT LEAST 4" HIGH SO AS TO ALLOW THE INSERTION OF A CUP OR GLASS UNDER THE FLOOR WATER. ON AN ACCESSIBLE DRINKING FOUNTAIN WITH A ROUND OR OVAL BOWL, AND ON AN ACCESSIBLE DRINKING FOUNTAIN PROVIDING ONLY PARALLEL APPROACH COMPLYING WITH 4.15.5 (2), THE SPOUT MUST BE POSITIONED SO THE FLOW OF WATER IS WITHIN 3" OF THE FRONT EDGE OF THE FOUNTAIN.

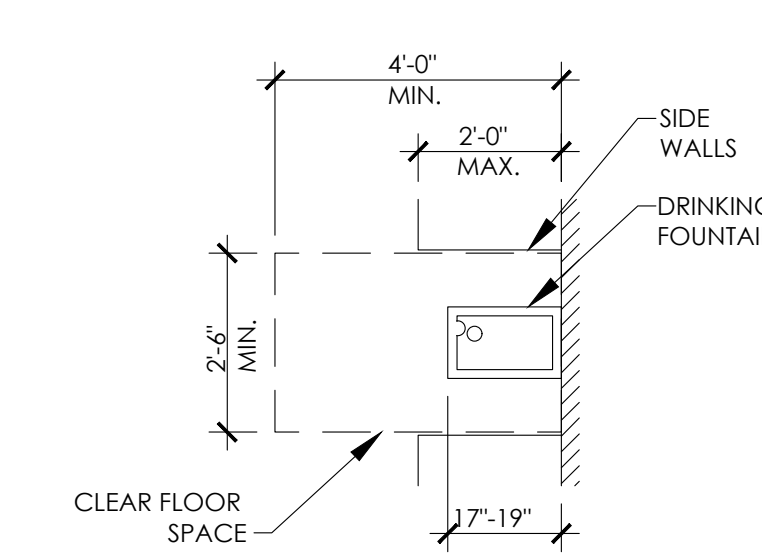
CONTROLS
 CONTROLS SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS UNIT CONTROLS SHALL BE FRONT MOUNTED OR SIDE MOUNTED NEAR THE FRONT EDGE.

CLEARANCES
 WALL AND POST MOUNTED CANTILEVERED UNITS SHALL HAVE A CLEAR KNEE SPACE BETWEEN THE BOTTOM OF THE APRON AND THE FLOOR OR GROUND AT LEAST 27" IN HIGH, 30" WIDE, AND 17" TO 19" DEEP. SEE FIG. 6(a) AND 6(b). SUCH UNITS SHALL ALSO HAVE A MINIMUM CLEAR FLOOR SPACE 30" BY 48" TO ALLOW A PERSON IN A WHEELCHAIR TO APPROACH THE UNIT FACING FORWARD.

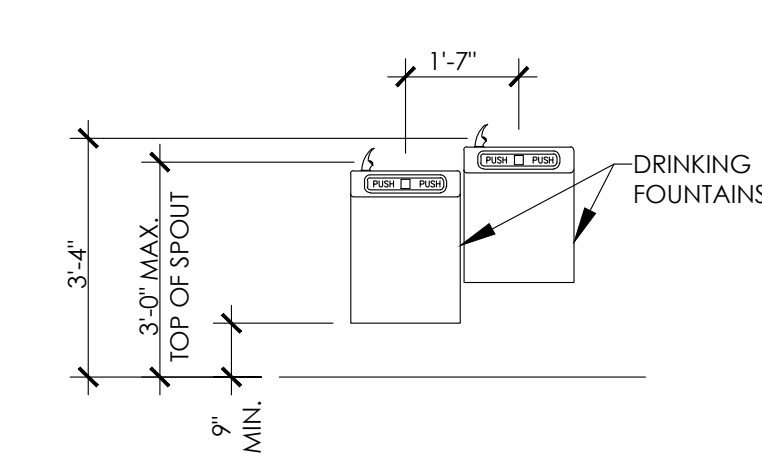
FREE-STANDING OR BUILT-IN UNITS NOT HAVING A CLEAR SPACE UNDER THEM SHALL HAVE A CLEAR FLOOR SPACE AT LEAST 30" BY 48" THAT ALLOWS A PERSON IN A WHEELCHAIR TO MAKE A PARALLEL APPROACH TO THE UNIT. SEE FIG. 6(d) AND 6(e).



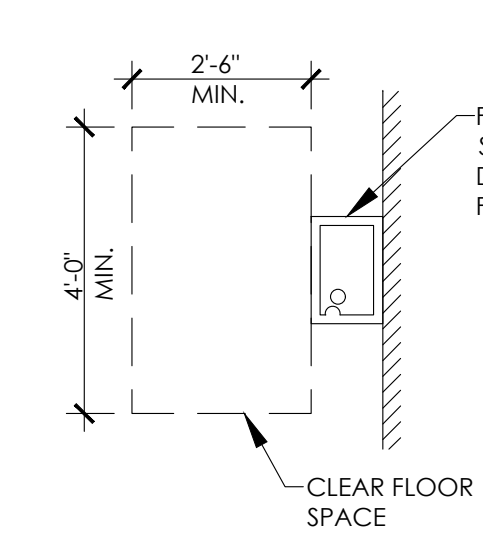
DRINKING FOUNTAIN HEIGHTS FIG. 6(a)



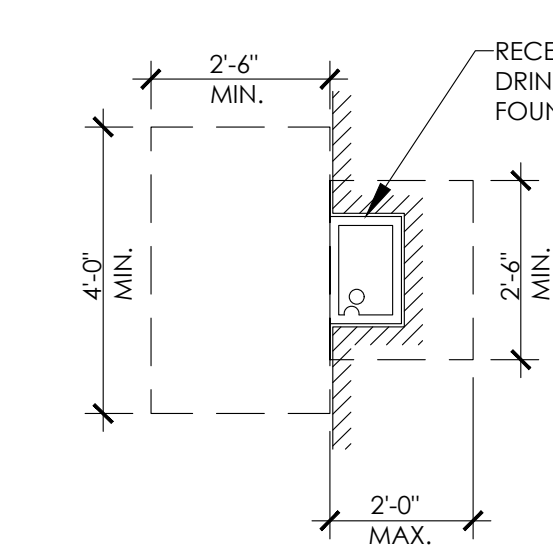
CLEAR FLOOR SPACE FIG. 6(b)



ELEVATION FIG. 6(c)



SURFACE MOUNTED FIG. 6(d)



RECESSED MOUNTED FIG. 6(e)

7. WATER CLOSETS

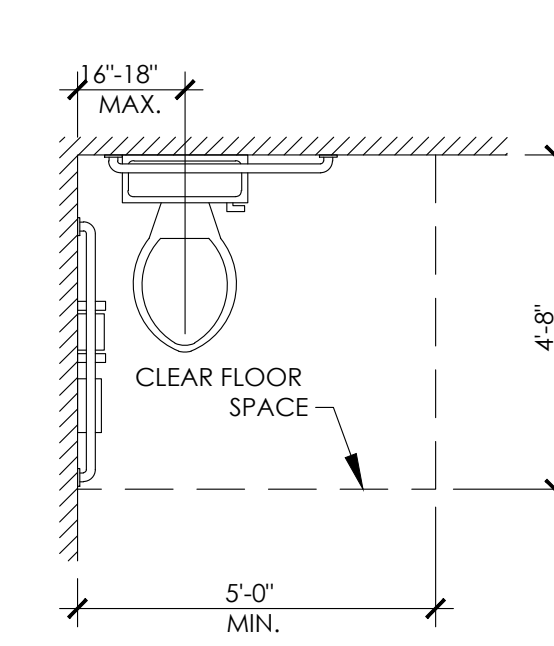
CLEAR FLOOR SPACE
 CLEAR FLOOR SPACE FOR WATER CLOSETS NOT IN STALLS SHALL COMPLY WITH FIG. 7(a). CLEAR FLOOR SPACE MAY BE ARRANGED TO ALLOW EITHER A LEFT-HANDED OR RIGHT-HANDED APPROACH.

SIZE AND ARRANGEMENT
 THE SIZE AND ARRANGEMENT FOR THE STANDARD TOILET SHALL COMPLY WITH FIG. 7(b) AND 7(c). ARRANGEMENTS SHOWN FOR STANDARD TOILET STALLS MAY BE REVERSED TO ALLOW EITHER A LEFT-HAND OR RIGHT-HAND APPROACH. SEE THE APPLICABLE ACCESSIBILITY STANDARDS FOR ADDITIONAL STALLS.

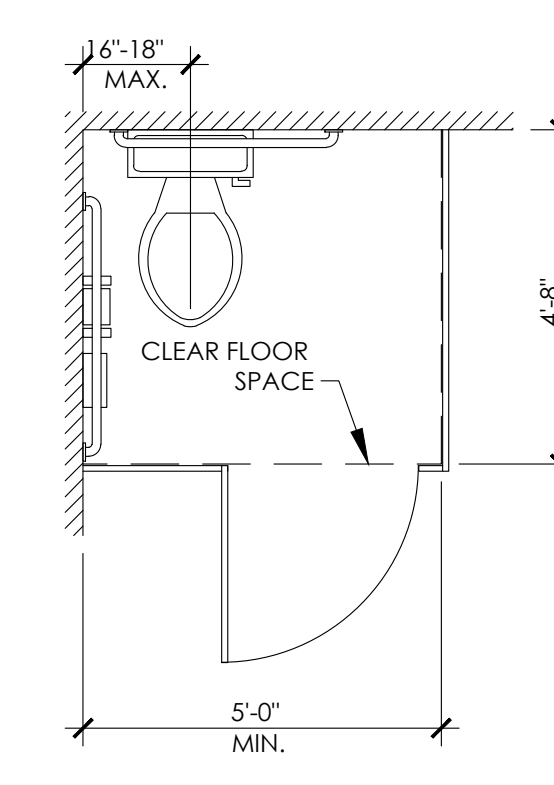
FLUSH CONTROLS
 FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC AND SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS. CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS NO MORE THAN 44" ABOVE THE FLOOR.

HEIGHT
 THE HEIGHT OF WATER CLOSETS SHALL BE 17" TO 19", MEASURED TO THE TOP OF THE TOILET SEAT. SEE FIG. 7(e). SEATS SHALL NOT BE SPRUNG TO RETURN TO A LIFTED POSITION.

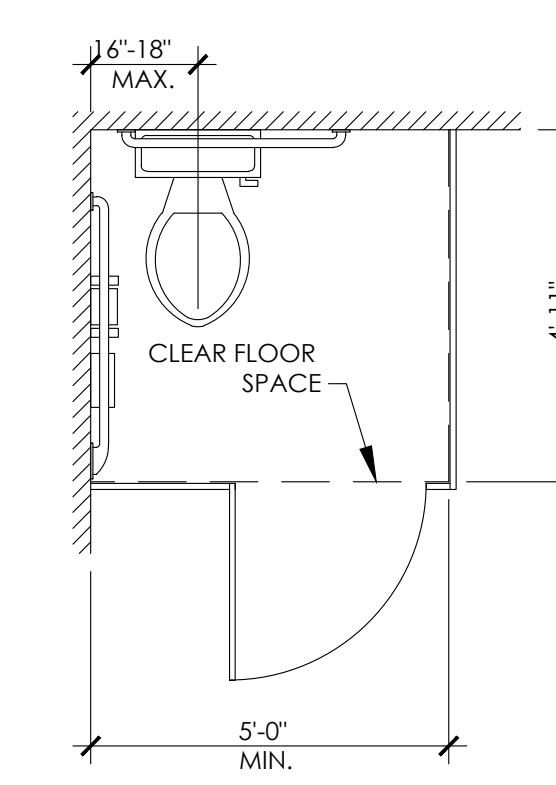
GRAB BARS
 GRAB BARS FOR WATER CLOSETS NOT LOCATED IN STALLS SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS. SEE FIG. 7(d) AND 7(e). GRAB BARS MAY BE MOUNTED WITH ANY DESIRED METHOD AS LONG AS THEY HAVE A GRIPPING SURFACE AT THE LOCATIONS SHOWN & DO NOT OBSTRUCT THE REQUIRED CLEAR FLOOR AREA.



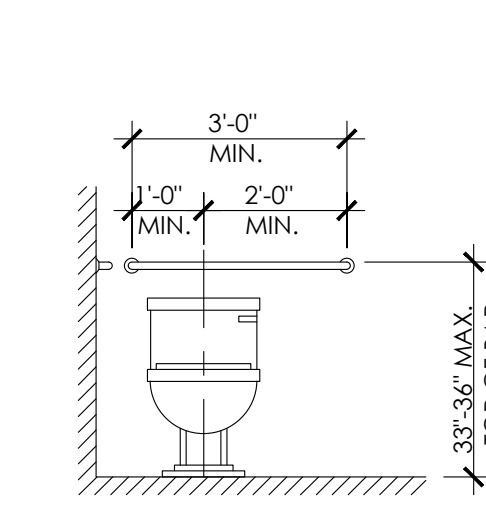
SIZE OF CLEARANCE AT WATER CLOSETS FIG. 7(a)



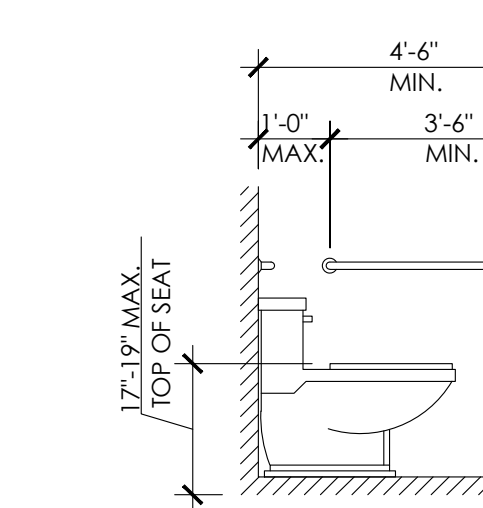
SIZE OF CLEARANCE AT WATER CLOSETS ADULT WALL HUNG WATER CLOSET FIG. 7(b)



SIZE OF CLEARANCE AT WATER CLOSETS ADULT FLOOR MOUNTED WATER CLOSET AND CHILDREN'S WATER CLOSET FIG. 7(c)



REAR WALL GRAB BAR FIG. 7(d)



SIDE WALL GRAB BAR FIG. 7(e)

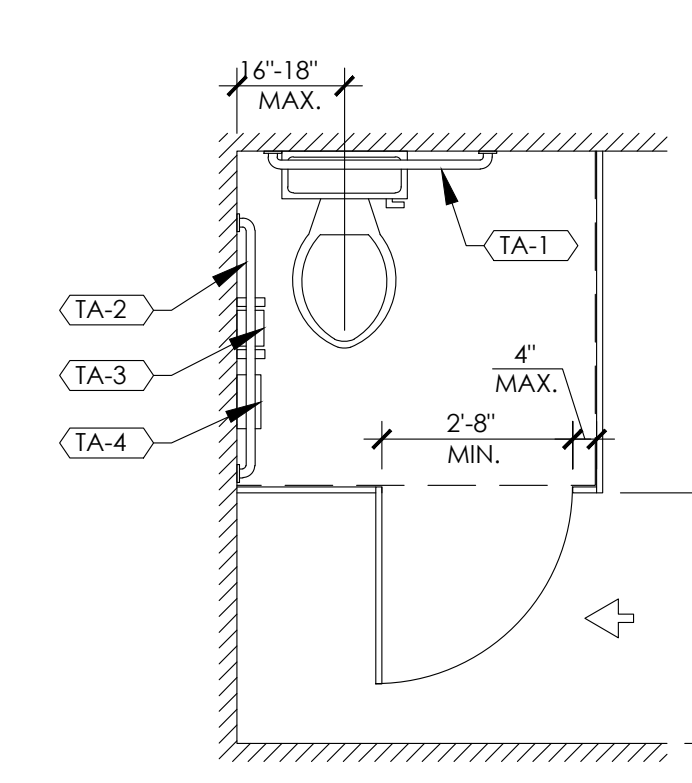
8. TOILET STALLS

DOORS
 TOILET STALL DOORS, INCLUDING DOOR HARDWARE, SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS. IF TOILET STALL APPROACHES IS FROM THE LATCH SIDE OF THE STALL DOOR, CLEARANCE BETWEEN THE DOOR SIDE OF THE STALL AND ANY OBSTRUCTION MAY BE REDUCED TO A MINIMUM OF 42". SEE FIG. 8(a) AND 8(b)

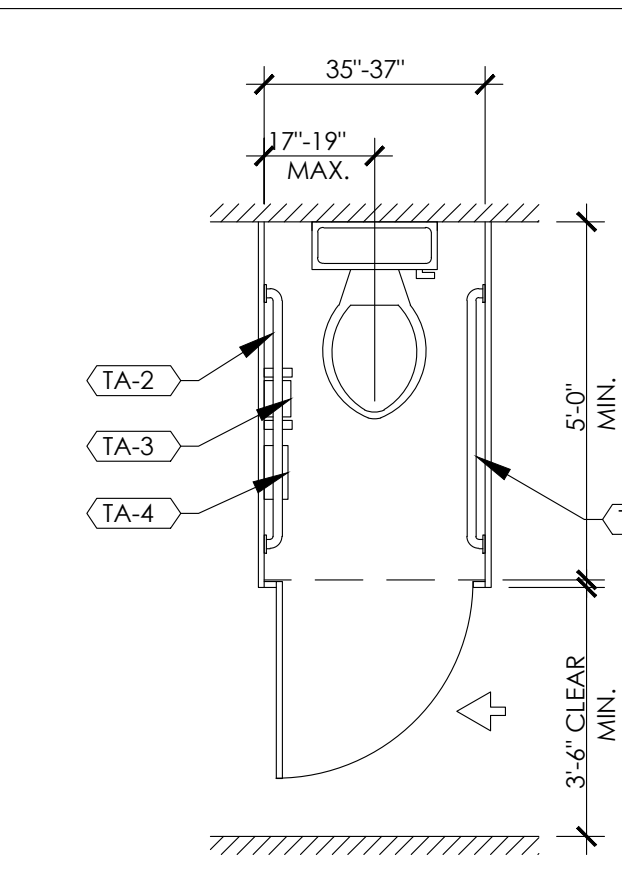
TOE CLEARANCES
 IN STANDARD STALLS, THE FRONT PARTITION AND AT LEAST ONE SIDE PARTITION SHALL PROVIDE A TOE CLEARANCE OF AT LEAST 9" IN HEIGHT. SEE FIG. 8(c), 8(d), AND 8(e). TOE CLEARANCE AT THE FRONT PARTITION IS NOT REQUIRED IF THE COMPARTMENT IS GREATER THAN 62" DEEP WITH A WALL-HUNG WATER CLOSET OR 65" DEEP WITH A FLOOR-MOUNTED WATER CLOSET. TOE CLEARANCE AT THE SIDE PARTITION IS NOT REQUIRED IF THE COMPARTMENT IS GREATER THAN 66" WIDE. TOE CLEARANCE AT THE FRONT PARTITION IS NOT REQUIRED IN A CHILDREN'S USE COMPARTMENT THAT IS GREATER THAN 65" DEEP.

DISPENSERS
 TOILET PAPER DISPENSERS SHALL BE INSTALLED 7"-9" MAX. TO THE CENTER OF THE DISPENSER AS SHOWN IN FIG. 8(f). DISPENSERS THAT CONTROL DELIVERY, OR THAT DO NOT PERMIT CONTINUOUS PAPER FLOW, SHALL NOT BE USED.

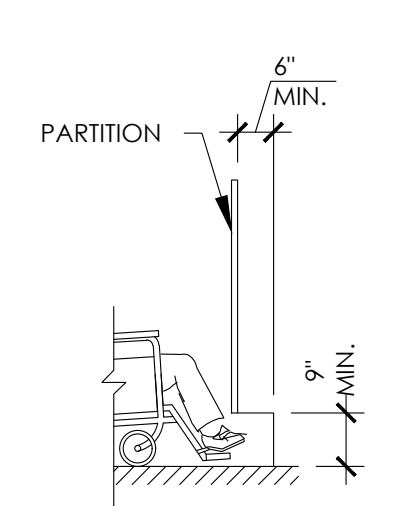
TOILET ACCESSORIES (TA-X)
 TA-1 = 36" GRAB BAR
 TA-2 = 42" GRAB BAR
 TA-3 = TOILET TISSUE DISPENSER
 TA-4 = TOILET TISSUE DISPOSAL



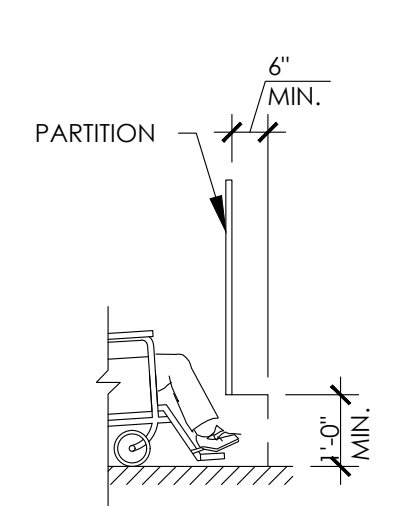
WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT DOORS FIG. 8(a)



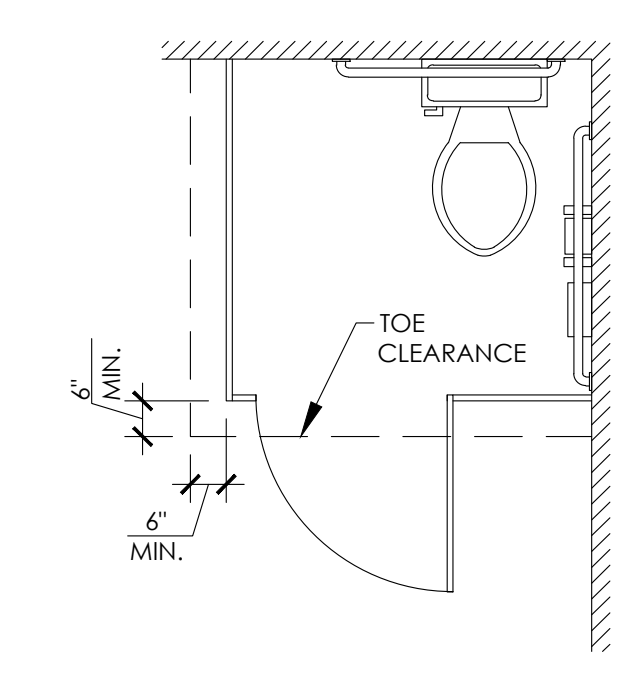
AMBULATORY ACCESSIBLE TOILET COMPARTMENT FIG. 8(b)



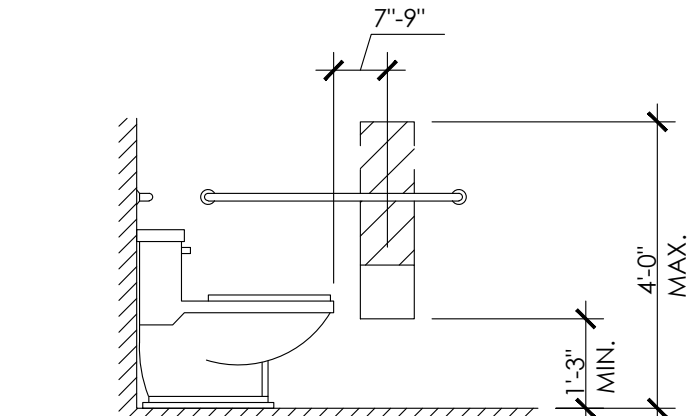
TOE CLEARANCE ELEVATION - ADULT FIG. 8(c)



TOE CLEARANCE ELEVATION - CHILD FIG. 8(d)



WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT TOE CLEARANCE FIG. 8(e)



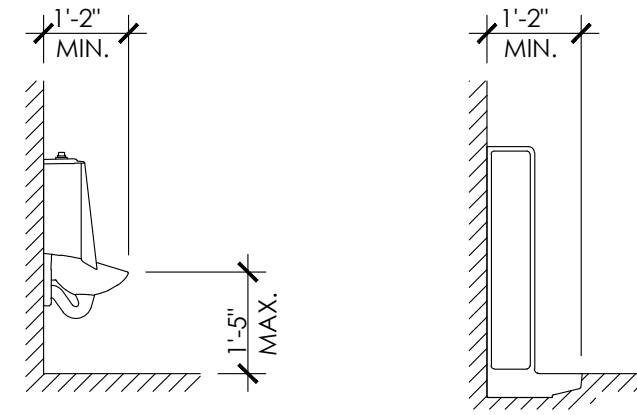
DISPENSER OUTLET LOCATION FIG. 8(f)

9. URINALS

HEIGHT
URINALS SHALL BE STALL-TYPE OR WALL-HUNG WITH THE RIM MOUNTED AT A MAXIMUM OF 17" ABOVE THE FINISH FLOOR OR GROUND. A TAPERED ELONGATED RIM IS ONE THAT NARROWS TOWARD THE FRONT TO ALLOW A WHEELCHAIR USER TO STRADDLE THE BASIN AND WHICH EXTENDS AT LEAST 14" FROM THE VERTICAL SURFACE ON WHICH THE FIXTURE IS MOUNTED.

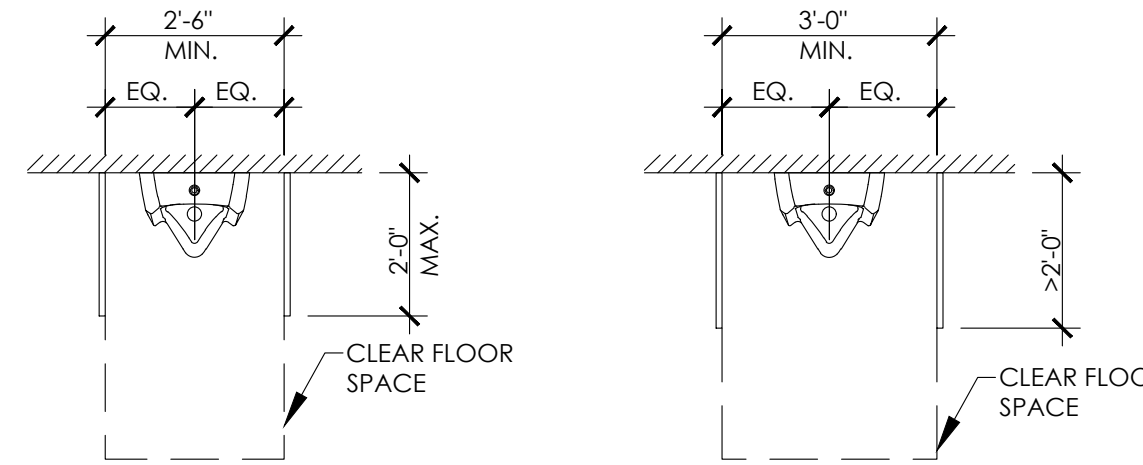
CLEAR FLOOR SPACE
A CLEAR FLOOR SPACE 30" BY 48" SHALL BE PROVIDED IN FRONT OF URINALS TO ALLOW FORWARD APPROACH.
IF THE URINAL IS INSTALLED IN AN ALCOVE DEEPER THAN 24", A CLEAR FLOOR SPACE WIDTH OF 36" SHALL BE PROVIDED FOR FORWARD APPROACH.

FLUSH CONTROLS
FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC, AND SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FINISH FLOOR.



WALL HUNG URINAL FIG. 9(a)
STALL URINAL FIG. 9(b)

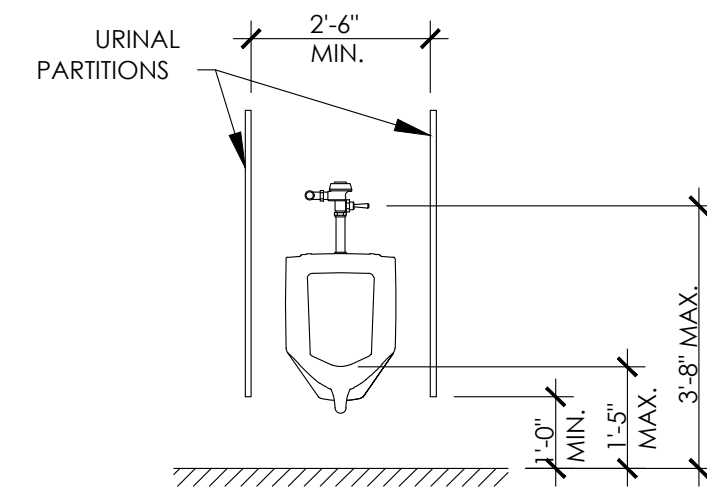
NOTE:
THE RIM HEIGHT IS A MAXIMUM OF 17" ABOVE FINISH FLOOR.



URINAL STALL FLOOR PLAN FIG. 9(c)
URINAL STALL FLOOR PLAN FIG. 9(d)

NOTE:
PROVIDE 30"x48" CLEAR FLOOR SPACE IN FRONT OF URINAL.

NOTE:
PROVIDE 36"x48" CLEAR FLOOR SPACE IN FRONT OF URINAL.



URINAL STALL ELEVATION FIG. 9(e)

NOTE:
THE RIM HEIGHT IS A MAXIMUM OF 17" ABOVE FINISH FLOOR.

10. LAVATORIES, SINKS, AND MIRRORS

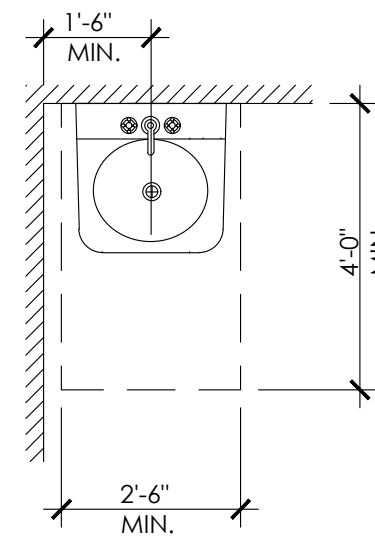
CLEAR FLOOR SPACE
A CLEAR FLOOR SPACE 30" BY 48" COMPLYING WITH APPLICABLE ACCESSIBILITY STANDARDS SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW FORWARD APPROACH.
LAVATORIES AND MIRRORS INSTALLED IN ALCOVES DEEPER THAN 24" REQUIRE ADDITIONAL MANEUVERING AREA.

HEIGHT AND CLEARANCES
LAVATORIES SHALL BE INSTALLED WITH THE FRONT OF THE HIGHER OF THE RIM OR COUNTER SURFACE 34" MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.
KNEE AND TOE CLEARANCES SHALL COMPLY WITH THE REQUIREMENTS AS ESTABLISHED IN THE APPLICABLE ACCESSIBILITY STANDARDS.

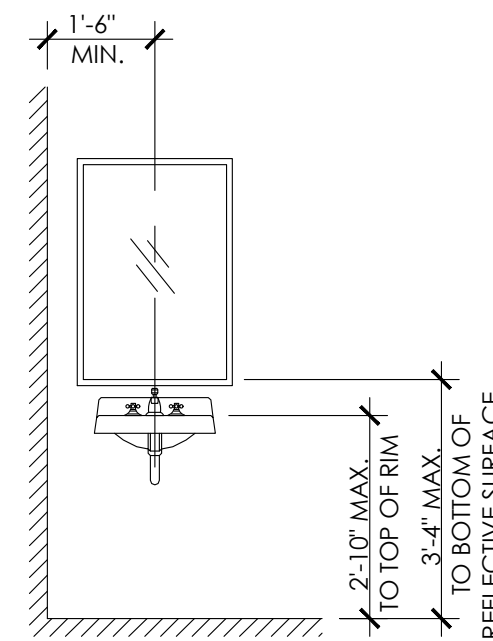
EXPOSED PIPES AND SURFACES
HOT WATER AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.

FAUCETS
FAUCETS SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY STANDARDS.
LEVER-OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR 10 SECONDS MINIMUM.

MIRRORS
MIRRORS LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAXIMUM ABOVE THE FINISH FLOOR.
MIRRORS NOT LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35" MAXIMUM ABOVE THE FINISH FLOOR.
A FULL-LENGTH MIRROR SHALL BE INSTALLED WITH THE TOP EDGE OF THE MIRROR AT 74" MINIMUM ABOVE THE FINISH FLOOR.

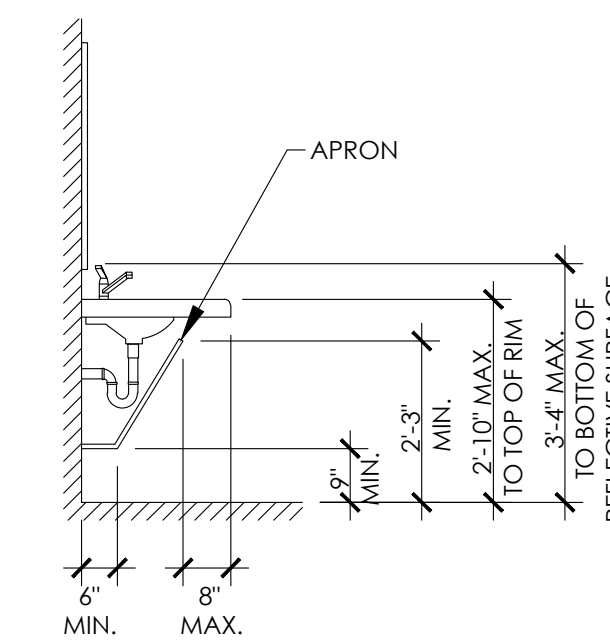


LAVATORY FLOOR PLAN FIG. 10(g)



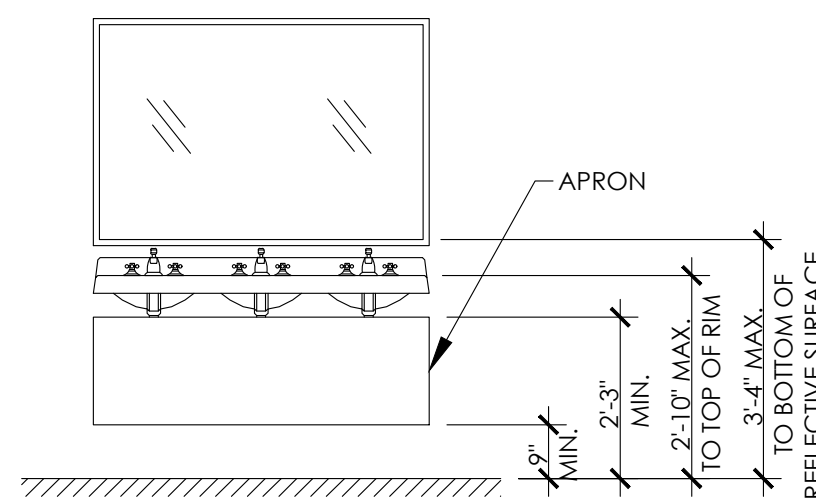
LAVATORY FRONT ELEVATION FIG. 10(b)

NOTE:
WATER SUPPLY AND DRAIN PIPES UNDER LAVATORY SHALL BE INSULATED OR CONFIGURED TO PROTECT AGAINST CONTACT.



LAVATORY SIDE ELEVATION FIG. 10(c)

NOTE:
SEE NOTE FOR FIG. 10(b). APRON DESIGNED TO FOLLOW REQUIREMENTS FOR TOE AND KNEE CLEARANCE.



URINAL STALL ELEVATION FIG. 10(d)

NOTE:
THE RIM HEIGHT IS A MAXIMUM OF 17" ABOVE FINISH FLOOR.

11. SIGNS

WHERE BOTH VISUAL AND TACTILE CHARACTERS ARE REQUIRED, EITHER ONE SIGN WITH BOTH VISUAL AND TACTILE CHARACTERS, OR TWO SEPARATE SIGNS, ONE WITH VISUAL, AND ONE WITH TACTILE CHARACTERS, SHALL BE PROVIDED.

RAISED CHARACTERS
CHARACTERS SHALL BE 1/32" MINIMUM ABOVE THE BACKGROUND. CHARACTERS SHALL BE UPPERCASE AND SANS SERIF. THEY SHALL NOT BE ITALIC, OBLIQUE, SCRIPT, HIGHLY DECORATIVE OR OTHER UNUSUAL FORMS. CHARACTER HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8" MINIMUM AND 2" MAXIMUM.

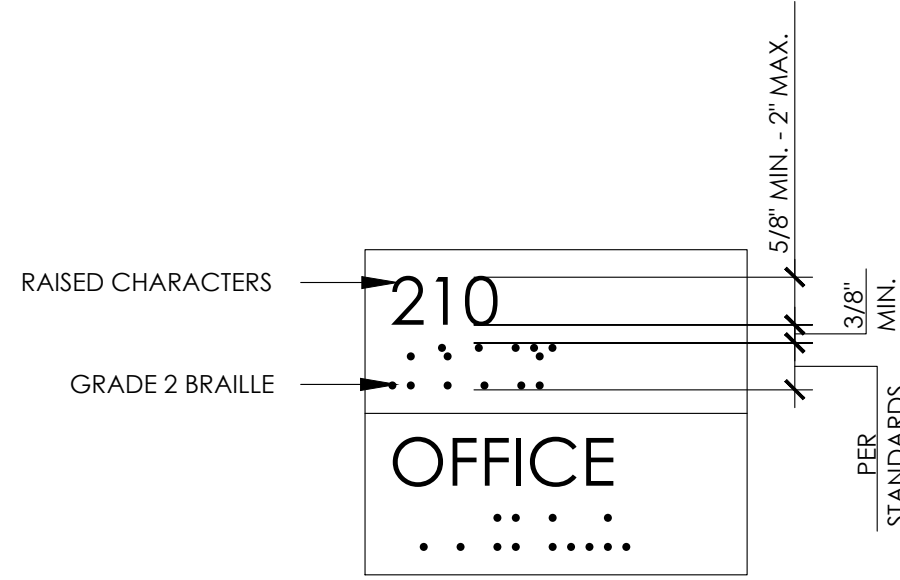
BRAILLE
CHARACTERS SHALL BE CONTRACTED (GRADE 2) AND SHALL COMPLY WITH THE REQUIREMENTS OF "RAISED CHARACTERS" AS STATED ABOVE. BRAILLE SHALL BE POSITIONED BELOW THE CORRESPONDING TEXT. BRAILLE SHALL BE SEPARATED 3/8" MINIMUM FROM ANY OTHER TACTILE CHARACTERS AND 3/8" MINIMUM FROM RAISED BORDERS AND DECORATIVE ELEMENTS.

INSTALLATION HEIGHT AND LOCATION
TACTILE CHARACTERS SHALL BE LOCATED 48" MINIMUM ABOVE THE FINISH FLOOR MEASURED FROM THE BASELINE OF THE LOWEST TACTILE CHARACTER, AND 60" MAXIMUM ABOVE THE FINISH FLOOR MEASURED FROM THE BASELINE OF THE HIGHEST TACTILE CHARACTER.

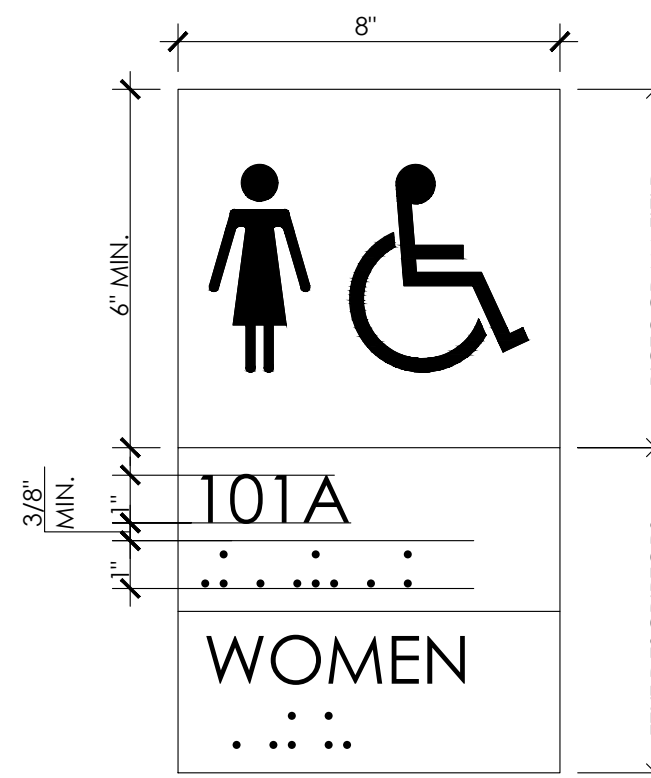
WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE. THEY SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18"x18" MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR.

PICTOGRAMS AND SYMBOLS OF ACCESSIBILITY
PICTOGRAMS AND SYMBOLS OF ACCESSIBILITY SHALL HAVE A FIELD HEIGHT OF 6" MINIMUM. CHARACTERS AND BRAILLE SHALL NOT BE LOCATED IN THE PICTOGRAM OR SYMBOL FIELD. PICTOGRAMS AND SYMBOLS SHALL HAVE THE TEXT DESCRIPTOR DIRECTLY BELOW THE PICTOGRAM/SYMBOL FIELD. TEXT SHALL COMPLY WITH THE REQUIREMENTS STATED IN THE APPLICABLE ACCESSIBILITY STANDARDS.

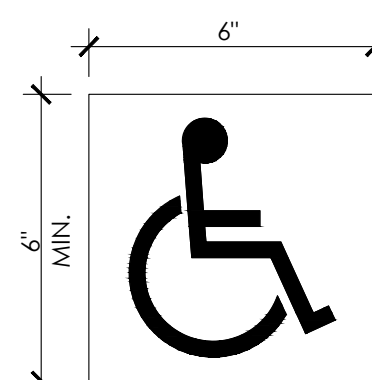
FINISH AND CONTRAST
CHARACTERS AND THEIR BACKGROUND, PICTOGRAMS AND THEIR BACKGROUND, AS WELL AS SYMBOLS OF ACCESSIBILITY AND THEIR BACKGROUND, SHALL HAVE A NON-GLARE FINISH. CHARACTERS, PICTOGRAMS, AND SYMBOLS SHALL CONTRAST WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON LIGHT BACKGROUND.



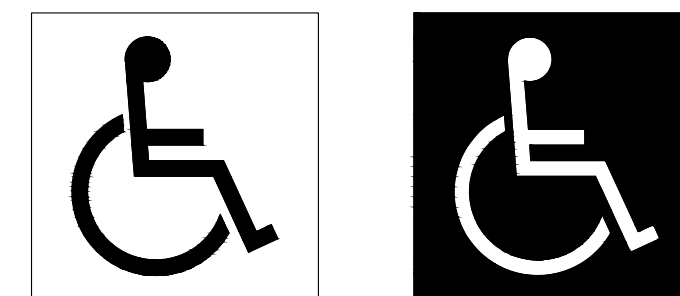
TEXT DESCRIPTOR FIG. 11(a)



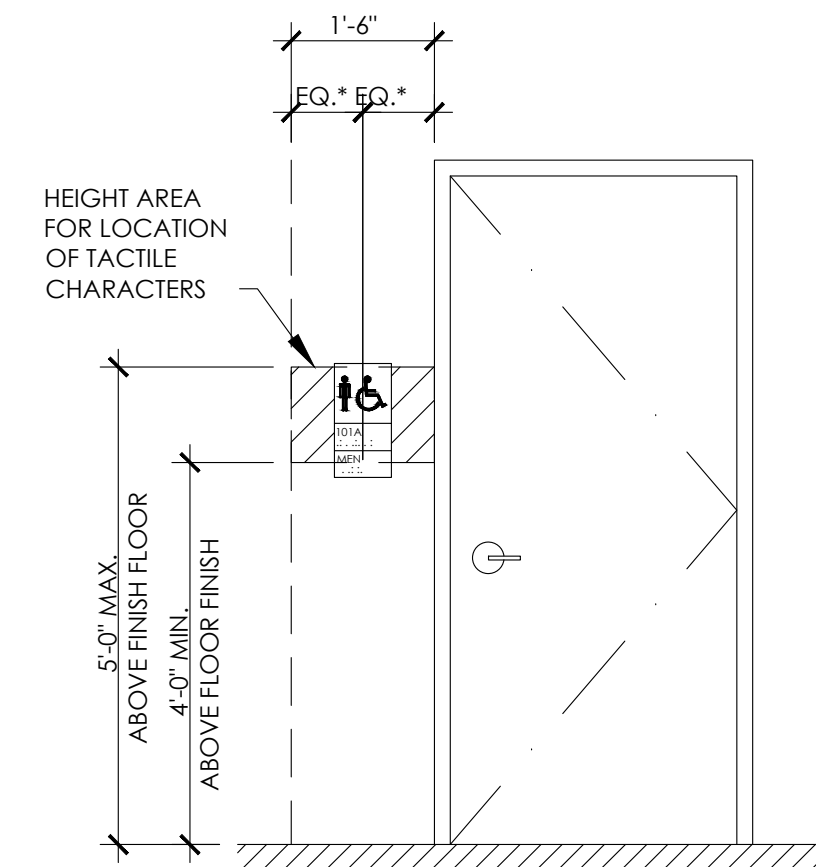
PICTOGRAM FIELD AND TEXT DESCRIPTORS FIG. 11(b)



INTERNATIONAL SYMBOL OF ACCESSIBILITY FIG. 11(c)



CONTRAST BETWEEN PICTOGRAM AND BACKGROUND FIG. 11(d)



HEIGHT OF TACTILE CHARACTERS AND LOCATION OF TACTILE SIGNS AT DOORS FIG. 11(e)

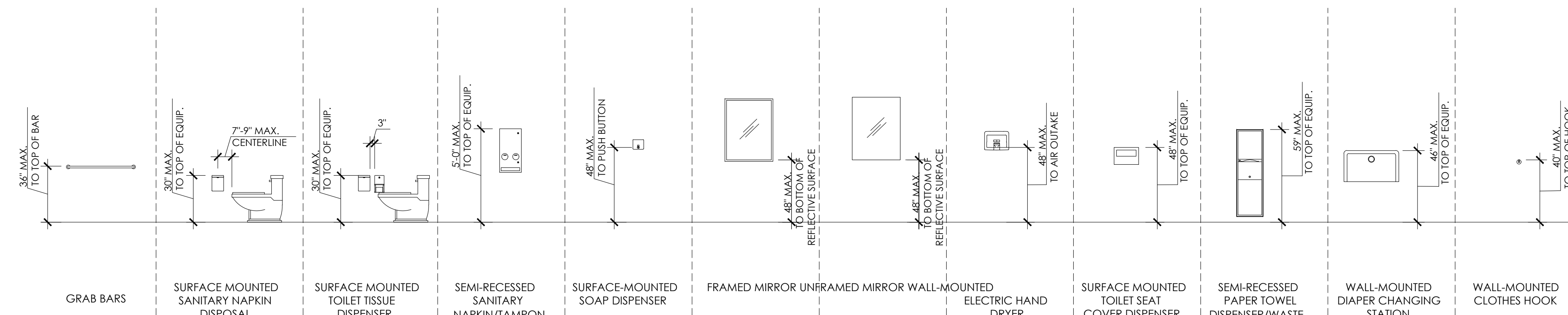
NOTE:
*LOCATION OF SIGN WITHIN THE 18" SPACE SHALL BE CENTERED BASED ON THE TACTILE CHARACTERS ON THE SIGN.

12. TOILET ACCESSORY MOUNTING HEIGHTS

MOUNTING HEIGHT
INSTALL TOILET ACCESSORIES PER MANUFACTURER'S RECOMMENDED HEIGHT FOR ADA/TAS. VERIFY HEIGHT DIMENSIONS WITH ALL APPLICABLE ACCESSIBILITY STANDARDS. WHERE A DISCREPANCY OCCURS, THE DIMENSIONS LISTED ON THE APPLICABLE ACCESSIBILITY STANDARDS SHALL APPLY.

ALL EQUIPMENT IS TO BE INSTALLED SO THAT THE DISPENSER SLOT AND/OR BUTTON IS LOCATED AT A HEIGHT OF 48" MAX. ABOVE THE FINISH FLOOR.

STRUCTURAL SUPPORT
INSTALL ALL ACCESSORIES WITH SUPPORT AS RECOMMENDED BY MANUFACTURER AND TO MEET REQUIREMENTS OF ALL APPLICABLE ACCESSIBILITY STANDARDS.

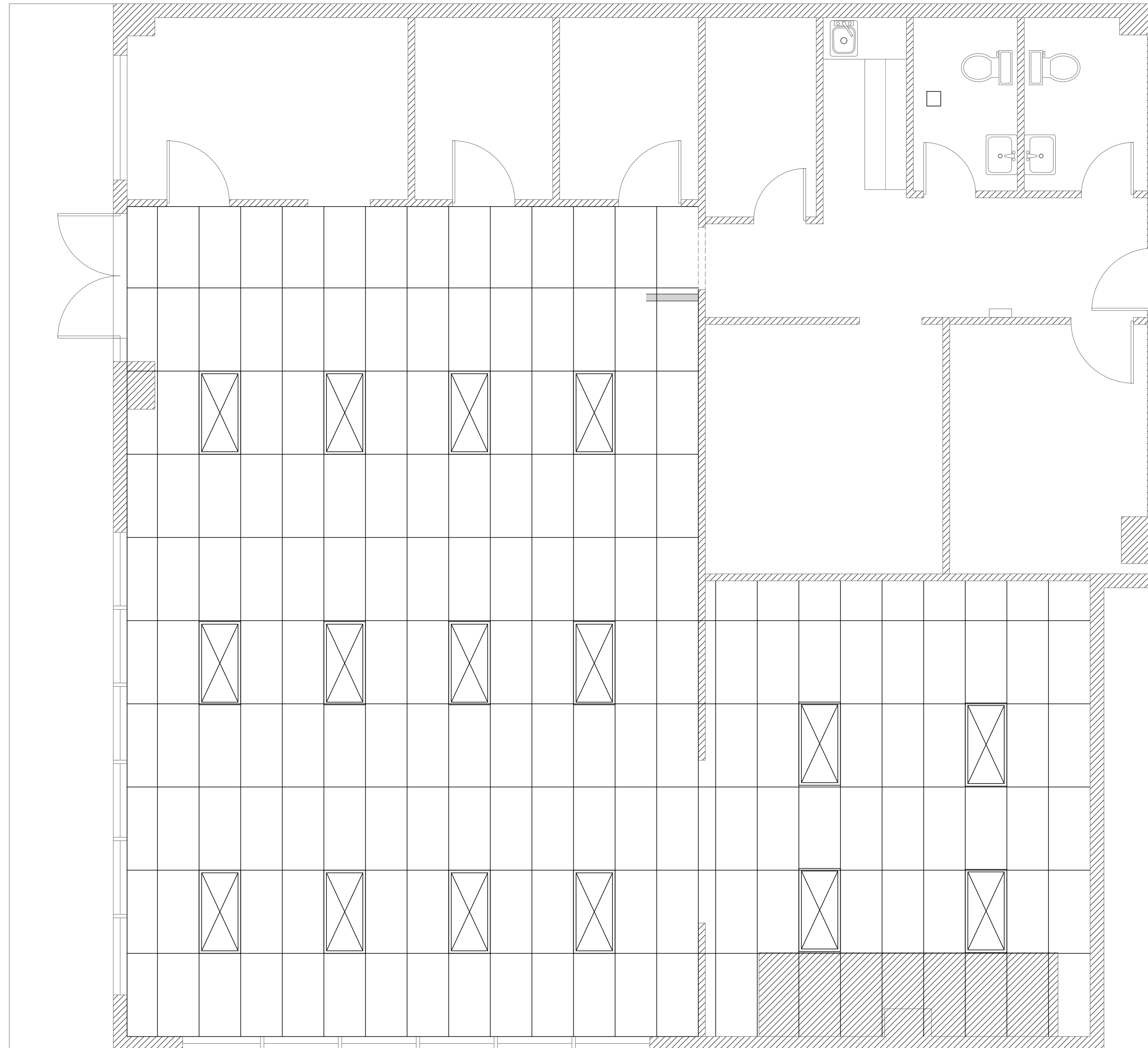


GRAB BARS SURFACE MOUNTED SANITARY NAPKIN DISPOSAL SURFACE MOUNTED TOILET TISSUE DISPENSER SEMI-RECESSED SANITARY NAPKIN/TAMPON DISPENSER SURFACE-MOUNTED SOAP DISPENSER FRAMED MIRROR UNFRAMED MIRROR WALL-MOUNTED ELECTRIC HAND DRYER SURFACE MOUNTED TOILET SEAT COVER DISPENSER SEMI-RECESSED PAPER TOWEL DISPENSER/WASTE DISPOSAL WALL-MOUNTED DIAPER CHANGING STATION WALL-MOUNTED CLOTHES HOOK

WE HAVE ATTEMPTED TO INCLUDE ALL NECESSARY DETAILS AND PERTINENT INFORMATION ON THESE DRAWINGS. THE CONTR. IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DETAILS AND OTHER INFORMATION PROVIDED ON THESE DRAWINGS. ANY DISCREPANCIES OR OMISSIONS SHOULD BE REPORTED TO DESIGNER IN WRITING PRIOR TO COMMENCEMENT OF WORK.

VENTING CALCULATIONS

NUMBER OF OCCUPANTS: 110 OCCUPANTS
 GROSS AREA: 2,383 SQFT
 EXISTING EQUIPMENT 3.5 TON COOLING CFM: 1300 CFM
 DESIGN OUTDOOR VENTILATION: 1,121 CFM



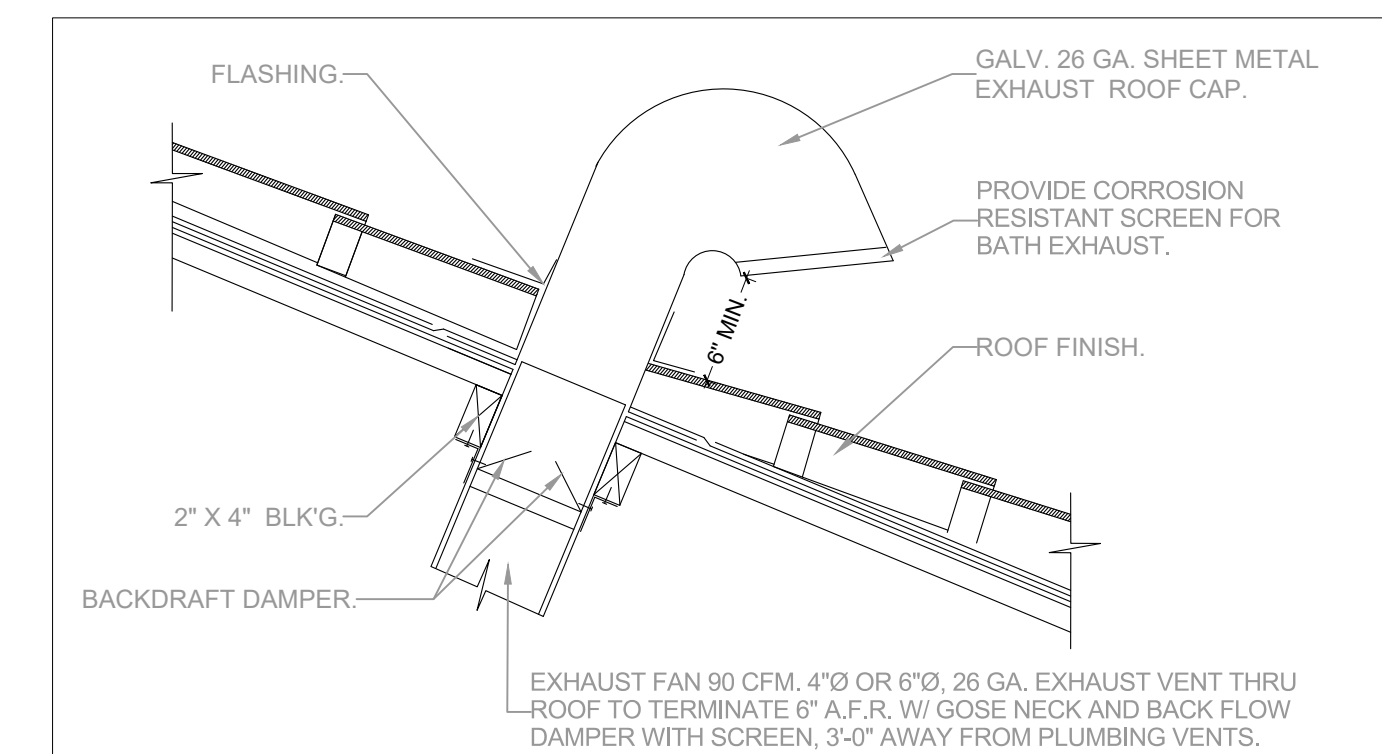
PROPOSED
MECHANICAL PLAN
 SCALE: 1/4"=1'-0"

H.V.A.C. NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL CITY CODES OR FBC RESIDENTIAL CODES CHAPTERS 13, 14, 15, 16, 17, FBC MECHANICAL 2020 7th, AND INCLUDING THE LATEST EDITION OF THE FLORIDA STATE ENERGY CODE REQUIREMENTS FBCR N1101.
- ALL WORK SHALL BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR, WORK TO BE IN THE ACCEPTANCE OF THE OWNER AND THE ENGINEER.
- THE CONTRACTOR SHALL HAVE VISITED THE JOB SITE BEFORE BIDDING AND FAILURE TO DO SO WILL NOT BE ACCEPTED AS A REASON FOR REQUESTING EXTRA PAY IN THE EVENT THAT THE EXISTING CONDITIONS RESULT IN EXTRA MATERIALS OR LABOR.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF MECHANICAL CONSTRUCTION, ANY EXISTING CONDITION FOUND AND/OR DISCREPANCIES FOUND BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER.
- INSULATE REFRIGERANT SUCTION PIPING WITH 1/2" CLOSED CELL POLYETHYLENE PRE-MOLDED PIPE INSULATION.
- UNDERGROUND CONDENSE DRAIN LINE SHALL BE 2" DIA. MINIMUM.
- ALL REFRIGERANT COMPRESSORS SHALL BE WARRANTED FOR A MINIMUM OF 5 YEARS AFTER DATE OF ACCEPTANCE OF THE PROJECT.
- ALL EQUIPMENT AS PER MANUFACTURER RECOMMENDATIONS TO ELIMINATE ANY EQUIPMENT NOISE AND VIBRATION.
- AFTER THE SYSTEM IS INSTALLED CONTRACTOR SHALL CONDUCT AN OPERATIVE TEST FOR APPROVAL AND ACCEPTANCE BY THE OWNER/ENGINEER SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE THEREOF AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP.
- ALL EXHAUST DUCTS SHALL BE CONSTRUCTIVE OF SHEET METAL, TERMINATE OUTSIDE THE BUILDING, AND BE EQUIPPED WITH A BACK DRAFT DAMPER.
- DUCTS FROM TOILET ROOMS SHALL DISCHARGE TO THE OUTSIDE OF THE BUILDING, SHALL BE TERMINATED NOT LESS THAN 6" ABOVE THE FINISHED ROOF SURFACE AND SHALL BE SCREENED WITH A CORROSION RESISTANT MATERIAL HAVING A MESH SIZE NOT LARGER THAN 1/2" (SEE DTL. FOR GOOSE NECK OR RAIN CAP ON ROOF TERMINATION).
- CLOTHES DRYERS EXHAUST DUCTS OR VENTS SHALL COMPLY WITH MANUFACTURE'S INSTALLATION INSTRUCTIONS, BE CONSTRUCTED OF A MIN. 26 GAUGE METAL PIPE, HAVING A SMOOTH INTERIOR SURFACE WITH JOINTS RUNNING IN THE DIRECTION OF THE AIR FLOW.
- VENTILATION DUCTWORK SHALL BE GALVANIZED STEEL WITH GAUGES DUCT CONSTRUCTION BRACING AND SUSPENSION IN ACCORDANCE WITH THE RECOMMENDATIONS SET IN THE ASHRAE LATEST EDITION OF THE GUIDE AND SMACNA STANDARDS.

MECHANICAL SCOPE OF WORK

- NEW EXHAUST FAN , SEE PLAN FOR LAYOUT.



BATH EXHAUST VENT ROOF CAP DETAIL

SCALE: N.T.S.

AIR CONDITIONING LEGEND

SYMBOL	LEGEND
A.H.U.	AIR HANDLING UNIT.
C.U.	CONDENSING UNIT.
O.A.	OUTSIDE AIR.
R/A	RETURN AIR.
S.A.	SUPPLY AIR.
W.S.A.	WALL SUPPLY AIR.
C.S.A.	CEILING SUPPLY AIR.
RL & S	REFRIGERANT LIQUID & SUCTION PIPE.
CFM	CUBIC FEET PER INUTE.
M.V.D.	MANUAL VOLUME DAMPER.
O.B.D.	OPPOSED BLADE DAMPER.
(T)	THERMOSTAST.
DUCTWORK	DUCTWORK.
F.D.	FLEXIBLE DUCT.
SUPPLY AIR DIFFUSER	SUPPLY AIR DIFFUSER.
RETURN AIR / TRANSFER GRILLE	RETURN AIR / TRANSFER GRILLE.
MANUAL VOLUME DAMPER	MANUAL VOLUME DAMPER.
(A)	DENOTES AIR DISTRI. DEVICE.
DISTRIBUTION BOX	DISTRIBUTION BOX.
UC	UNDER CUT DOOR ABOVE FINISH FLOOR AS NOTED

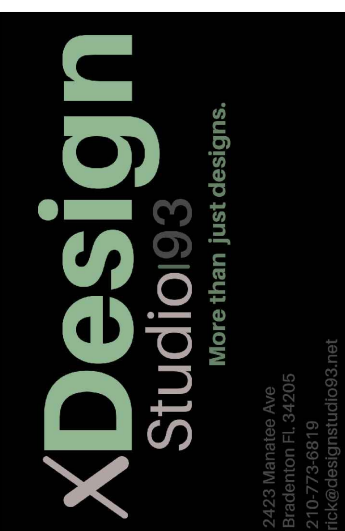
H.V.A.C. DESING REQUIREMENTS

	YES	NO
1. DUCT SMOKE DETECTOR.		●
2. FIRE DAMPER(S).		●
3. SMOKE DAMPER(S).		●
4. FIRE RATED ENCLOSURE.		●
5. FIRE RATED ROOF CEILING ASSEMBLY.		●
6. FIRE STOPPING.		●
7. SMOKE CONTROL.		●

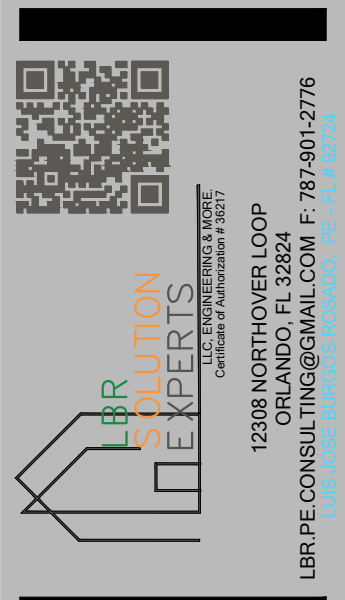
EXAUST FAN SCHEDULE: EF-1

MANUFACTURER:	NuTone.
MODEL:	672R.
CFM:	90.
SP:	0.10".
DRIVE:	DIRECT.
LOCATION:	CEILING.
ACCESSORIES:	DRAFT DAMPER.

NOTE: USE DESIGNATED EXHAUST FAN OR APPROVED EQUAL.



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PROJECT
 4232 S TAMAMI TRAIL,
 SARASOTA, FL 34231
 INTERIOR

REVISIONS	DATE	BY
1	February 5, 2023	

PROJECT: 4232 S TAMAMI TRAIL, SARASOTA, FL 34231
 DATE: 4/8/2024
 SHEET: M-1

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