

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 482 Blackburn Point Road			Policy Number:
City Osprey	State Florida	ZIP Code 34229	Company NAIC Number
SECTION G – COMMUNITY INFORMATION (OPTIONAL)			
The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.			
G1. <input type="checkbox"/> The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)			
G2. <input type="checkbox"/> A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.			
G3. <input type="checkbox"/> The following information (Items G4–G10) is provided for community floodplain management purposes.			
G4. Permit Number 20-102615 BC	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued	
G7. This permit has been issued for: <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Substantial Improvement			
G8. Elevation of as-built lowest floor (including basement) of the building: _____	<input type="checkbox"/> feet <input type="checkbox"/> meters	Datum _____	
G9. BFE or (in Zone AO) depth of flooding at the building site: _____	<input type="checkbox"/> feet <input type="checkbox"/> meters	Datum _____	
G10. Community's design flood elevation: _____	<input type="checkbox"/> feet <input type="checkbox"/> meters	Datum _____	
Local Official's Name _____		Title _____	
Community Name _____		Telephone _____	
Signature _____		Date _____	
Comments (including type of equipment and location, per C2(e), if applicable)			
<input type="checkbox"/> Check here if attachments.			

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Phelan Properties of Casey Key, LLC				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 482 Blackburn Point Road				Company NAIC Number:	
City Osprey		State Florida		ZIP Code 34229	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) PID #0157030001					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Non-Residential</u>					
A5. Latitude/Longitude: Lat. <u>27°10'47"</u> Long. <u>82°29'32"</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>6</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>1434.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A8.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>N/A</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A9.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number Sarasota county 125144			B2. County Name Sarasota		B3. State Florida
B4. Map/Panel Number 12115C0236	B5. Suffix F	B6. FIRM Index Date 11-04-2016	B7. FIRM Panel Effective/ Revised Date 11-04-2016	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 12
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

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SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: 157 J (DL9716) Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

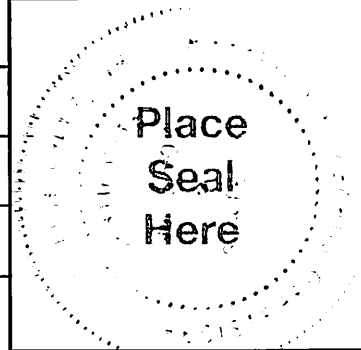
Check the measurement used.

- | | | | |
|---|------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 8.3 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | 18.8 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | 13.4 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | 8.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | 8.4 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | 8.4 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name F. Peter Lutz, Jr.	License Number 5506		
Title Professional Surveyor & Mapper			
Company Name George F. Young, Inc.			
Address 10540 Portal crossing #105			
City Bradenton	State Florida		ZIP Code 34211
Signature <i>F. Peter Lutz</i>	Date 06-17-2022	Telephone (941) 747-2981	Ext. 8215

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
The Lat/Long was obtained from Google Earth. Item C2(e) were A/C or Chiller Units. The Flood Panels were installed at the time of the Final Certificate on the lower enclosure, as follows: The Bottom of the Flood Panel 8.31' and the Top of the Flood Panel 13.77'.

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**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
 FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name _____

Address	City	State	ZIP Code
Signature	Date	Telephone	

Comments

Check here if attachments.

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

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If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption Front View

Clear Photo One



Photo Two

Photo Two Caption North View

Clear Photo Two

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

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If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo Three

Photo Three Caption West view

Clear Photo Three



Photo Four

Photo Four Caption A/C-Chiller Units

Clear Photo Four

Flood Emergency Operations Plan & Inspection and Maintenance Plan



Plan designed for: **Deep Lagoon Seafood & Oyster House**

Owner Name: **Phelan Properties of Casey Key, LLC**

Property address: **482 Blackburn Point Rd., Osprey, FL 34229**

Date: **04/25/2022**

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Location Floor Plan	6 and Exhibit B
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Equipment List	6
Installation Procedures	6 and Exhibit A
Evacuation Plan, Ingress and Egress Routes	6 and Exhibit B
Post event Instructions	7
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Exhibit A: OEM Manual and Approved Shop Drawings

Exhibit B: Site Specific Floor Plan & Life Safety Plan

Exhibit C: Pre-Construction Floodproofing Cert. for Non-Residential Structures 5-13-2020

Exhibit D: Post-Construction Floodproofing Cert. for Non-Residential Structures 4-25-2022

Exhibit E: Final Elevation Certificate



Leadership Chain Of Command

Person of Responsibility

Representing: **Deep Lagoon Seafood & Oyster House at 482 Blackburn Point Rd., Osprey, FL 34229**

Name: **Dacie Broshears**

Contact Number: **(941) 330-4258**

Specific Duties

- ✦ The Person of Authority (P.O.A.), (**Dacie Broshears**), is assigned the responsibility to put into action all tasks and procedures outlined in this PLAN at the specified times outlined in the stage trigger chart.
- ✦ This person will ensure that he/she is thoroughly familiar with each step contained herein and will answer to the property manager and/or Owner regarding the status of each step during PLAN execution.
- ✦ This person must keep the MASTER PLAN nearby at all times.
- ✦ This person carries the sole responsibility for distributing relevant Installation Team instructions to respective team members, security and clean-up crew.
- ✦ This person assumes the responsibility of providing oversight during execution of the PLAN, ensuring to the safety and general well-being of all labor throughout all PLAN procedures.
- ✦ This person is responsible for keeping an up-to-date inventory of all equipment, tools and accessories required for execution of PLAN.
- ✦ This person is responsible for oversight of the inspection and maintenance of all flood barrier and hurricane shutter equipment, tools and accessories outlined herein. All charging of batteries must remain on-site.
- ✦ This person is required to notify Property Manager and/or Owner in the event that this plan is executed, and offer status reports with said parties throughout implementation of the PLAN. See Stage Trigger Chart for details.
- ✦ This person has the authority to re-allocate manpower and adjust the PLAN should there be any unforeseen issues or problems that arise, while retaining the overall PLAN objectives.
- ✦ This person has the responsibility **based** on the developing weather situation to make the final decision to install all remaining doorway barriers and effectively evacuate the site.
- ✦ At the point where P.O.A. makes the final decision to evacuate (based on weather reports), he/she must first notify the tenants for final evacuation, together with the instruction to the installation team to install the final doorway barriers. The team leaders must verify with the P.O.A. via radio that each retail space has been completely evacuated prior to installation of final doorway barriers.



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## Installation Staff: To Be Assigned

- 1) Name: Leslie Carmody  
Contact Number: \_\_\_\_\_  
Office: \_\_\_\_\_  
Cell: 813-862-7802
  
- 2) Name: Dacie Broshears  
Contact Number: \_\_\_\_\_  
Office: \_\_\_\_\_  
Cell: 941-330-4258
  
- 3) Name: Beau Perry  
Contact Number: \_\_\_\_\_  
Office: \_\_\_\_\_  
Cell: 239-851-6188
  
- 4) Name: David Trincado  
Contact Number: \_\_\_\_\_  
Office: 239-431-5504  
Cell: 786-252-8300
  
- 5) Name: \_\_\_\_\_  
Contact Number: \_\_\_\_\_  
Office: \_\_\_\_\_  
Cell: \_\_\_\_\_
  
- 6) Name: \_\_\_\_\_  
Contact Number: \_\_\_\_\_  
Office: \_\_\_\_\_  
Cell: \_\_\_\_\_
  
- 7) Name: \_\_\_\_\_  
Contact Number: \_\_\_\_\_  
Office: \_\_\_\_\_  
Cell: \_\_\_\_\_





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## **Notification Procedure for Deployment**

- ✦ Both the Building Manager representing Deep Lagoon Seafood & Oyster House will in the event of an official storm watch being issued by the weather services (for the Sarasota County area,) is to contact the assigned installation staff for the purposes of coordinating the Flood Emergency Response plan.
- ✦ During the **Deployment Phase**, once a contact between the owners and Deployment team leader or installation contractor has been established, it is the responsibility of the Deployment team leader or installation contractor to notify and organize the installation workforce, together with all inventory sheets, deployment plan, equipment, tools, supplies, transportation, and access to barrier inventory required to deploy the system.
- ✦ The deployment or installation staff will keep the building manager advised as to the progress of the installation, so the Building Manager can notify and advise any tenants and/or contractors or other parties that may be affected by installation of the Flood Emergency Response Plan.
- ✦ Panels are to be installed a minimum of three days prior to projected flood incident or storm landfall.

## **Openings and Mop Sink Protection**

The following (2) Openings are to be covered by barriers: (see attached drawing Exhibit B)

List openings here:

1. Door 101
2. Door 104

The following (1) Mop Sink Drain is to be protected: (see attached drawing Exhibit B)

1. Can Wash 103

- Install a 3” mechanical test plug by removing the trim ring in the center of the mop sink drain and insert the test plug into the drain pipe. Turn the twist handle of the plug clockwise until the unit is firmly anchored in the drain pipe.
- Turn the twist handle counterclockwise to remove after the flood event is over and store with flood panel hardware until needed again.





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## **Barrier Storage Location:**

The Flood Barriers and all associated tools and emergency equipment are to be stored/found at the following location:

Location: At the 4' Concrete Slab located at West side of building on 1<sup>st</sup> Floor, near elevator. Panels are to be secured to the wall to insure they will not fall. All attachment devices to be stenciled or marked with permanent marker to indicate opening and position when installed. See Exhibit B "Flood panel storage label."

## **Equipment List:**

As specified and supplied by installation contractor when designated. Includes inventory list showing identification of parts and corresponding opening ID. All parts are to be labeled and identified on the inventory sheet.

## **Installation Procedures:**

See manufacturers installation manual attached under Exhibit A.

## **Evacuation Plan, Ingress and Egress Routes:**

See evacuation drawing attached: **LS-01 Life Safety Plan of Exhibit B.**

## **Emergency Shut-Down Procedures:**

### **Facility Shutdown**


Procedure to shut down/de-energize utilities in an orderly manner to reduce ignition sources and damage:

1. Plan for safe emergency shutdown of operations
2. Plan for shutdown of utilities (electric, fuel, etc.)
3. Shut down ignitable liquid and flammable gas systems.

### **Flood Mitigation**

Action items are best prioritized considering the value of the mitigation action combined with achievability within the advance warning window available. Some typical examples not in any type of prioritized order are provided below:

1. Control ignition sources.
  2. Stop all incoming shipments and expedite outgoing shipments.
  3. Raise and relocate highly valuable and easily moved equipment, contents and vital records to higher elevations. This may necessitate acquiring or renting special equipment to relocate contents. Rank level of importance.
  4. Close emergency valves to sewer drains.
  5. Check sump pumps to ensure they are operable.
  6. Deploy flood defense equipment such as barriers, doors and flood gates.
  7. Ensure backup power supplies (generators) are functional.
  8. Apply water-displacing, rust-preventive compound to equipment that may become partially or fully submerged.
-

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- 
9. Fill empty storage tanks to prevent them from floating.
  10. Relocate/reroute supplies.

## **Post Event Instructions**

- 1) Reactivate electrical generation systems
- 2) Replace barrier hazard tape, as necessary. Photograph all barriers before dismantling system for storage.
- 3) Remove barriers from ingress points around the building, so that tenants can access the buildings.
- 4) Lay barriers alongside each doorway, making sure not to obstruct the doors. Take care not to lay barriers on the gaskets.
- 5) Demount all flood barriers. They come down in the reverse order that they go up so that they are stored in proper sequence.
- 6) As the barriers or panels are being removed from the building, confirm inventory of all panels and supports with the inventory list. Check that all panels, barriers, braces, supports, hardware, anchors, gaskets and system parts for damage. Write a report documenting all damaged parts and the location of the openings where damage occurred. Photograph damaged parts and include the photos in the damage report.
- 7) Check and inventory all anchors and anchor bolts. Document all missing or damaged anchors and bolts in need of replacement and present to the owner. Missing bolts must be replaced with new ones before the next re-deployment. (The need to re-tap the anchors may be needed in certain situations.)
- 8) Install anchor cover caps, cap screws or bolts into all anchor locations to protect the anchor threads.
- 9) Wash down the walls and mounting areas as well as all flood barrier components, including hurricane shutters.
- 10) Remove and Store all barriers in reverse installation sequence. The person of authority must witness the return to storage of all cleaned barriers, supports, braces and hardware to ensure that the barriers are stored in sequence.
- 11) Remove hazard tape.

## **Clean-up**

Wash down exterior of building and floors. Have clean-up crew remove all large debris from walls, walkways, access roads, garages, drains, sidewalks etc. Debris must be piled in an orderly fashion for removal. Inspect grounds and take note of damage, theft or any irregularities caused by the flood event. Notify all pertinent authorities as to the removal of debris from grounds and document damage to grounds and building caused by the event.



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## **Maintenance**

1st inspection: (April 14, 2022)

2nd inspection: (October 14, 2022)

Note: These inspections will be every six months, but the specific dates may change at the discretion of the storage and installation manager or contractor.

Specific maintenance instructions to be supplied by manufacturer.

## **Inspection, practice installation of panels and attachment devices and sump pump testing**

The flood panels and attachment devices will be installed yearly, prior to May 15<sup>th</sup>, and the sump pump and drainage systems will be inspected and tested at that time.

## **Training, and Exercise Program**

Annual training program: The specific dates are to be agreed upon when the specific installation staff is appointed. The Person of Responsibility will set up a training schedule.



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## **Emergency Contact Information:**

### **Deep Lagoon Seafood & Oyster House/Owner Name: Phelan Properties of Casey Key, LLC:**

- 1) Dacie Broshers; 941-330-4258
- 2) Leslie Carmody; 813-862-7802
- 3) Beau Perry; 239-851-6188
- 4) David Trincado; 786-252-8300

### **Police**

911  
Sarasota County Police Department; 941-263-6773

### **Fire**

Nokomis Fire Dept; 941-488-8855

### **FEMA**

FEMA; 1-800-621-3362

### **Water department**

Sarasota County Public Utilities; 941-861-6790

### **Electric company**

Florida Power & Light; 800-468-8243

### **Evacuation Information**

Evacuation info; 941-861-5000

### **Weather forecast**

NOAA Weather Radio FREQ 162.40 MHZ

### **Hospitals**

Sarasota Memorial Hospital ER (941) 917-8555



## Photos of Flood Panels Installed







4/13/22 9:08:56 AM EDT

**3M**

MARINE  
ADHESIVE  
SEALANT  
FAST CUR  
4200

White

JOINTS & RUB-RAILS

- Bonds to a wide variety of substrates
- Excellent adhesion to fiberglass, gelcoat, and vinyl ester resin
- Ideal for bonding rub rails, handrails, and other accessories
- Cures in 15-30 minutes

06560

Net 10 fl oz (295 mL)



4/13/22 9:08:44 AM EDT



4/13/22 11:38:17 AM EDT



TOP

**FLOOD  
PANEL**

**DANGER**



MADE  
IN THE USA

BOTTOM

**FLOOD  
PANEL**

**DANGER**



MADE  
IN THE USA



TOP  
**FLOOD  
PANEL**  
DANGER  
MADE IN THE USA

**FLOOD  
PANEL**  
DANGER  
MADE IN THE USA





# FLOOD PANEL

ALL OF OUR PRODUCTS  
ARE DESIGNED AND MADE  
**IN THE USA**

**⚠ DANGER**

HEAVY PANEL,  
LIFT WITH CAUTION.  
USE 2+ PEOPLE  
OR FORK-LIFT.



2



**OD**  
**VEL**

IN U.S.A. • ☎ 888-744-2607

**ALL OF OUR PRODUCTS  
ARE DESIGNED AND MADE  
IN THE USA**

**⚠ DANGER**  
**HEAVY PANEL**  
LIFT WITH CAUTION  
USE 2+ PEOPLE  
OR FORKLIFT

PLEASE USE AND FOLLOW THESE USE INSTRUCTIONS

| Model       | Weight    | Dimensions       |
|-------------|-----------|------------------|
| Model 1000  | 1000 lbs  | 48" x 72" x 1/2" |
| Model 1500  | 1500 lbs  | 48" x 72" x 1/2" |
| Model 2000  | 2000 lbs  | 48" x 72" x 1/2" |
| Model 2500  | 2500 lbs  | 48" x 72" x 1/2" |
| Model 3000  | 3000 lbs  | 48" x 72" x 1/2" |
| Model 3500  | 3500 lbs  | 48" x 72" x 1/2" |
| Model 4000  | 4000 lbs  | 48" x 72" x 1/2" |
| Model 4500  | 4500 lbs  | 48" x 72" x 1/2" |
| Model 5000  | 5000 lbs  | 48" x 72" x 1/2" |
| Model 5500  | 5500 lbs  | 48" x 72" x 1/2" |
| Model 6000  | 6000 lbs  | 48" x 72" x 1/2" |
| Model 6500  | 6500 lbs  | 48" x 72" x 1/2" |
| Model 7000  | 7000 lbs  | 48" x 72" x 1/2" |
| Model 7500  | 7500 lbs  | 48" x 72" x 1/2" |
| Model 8000  | 8000 lbs  | 48" x 72" x 1/2" |
| Model 8500  | 8500 lbs  | 48" x 72" x 1/2" |
| Model 9000  | 9000 lbs  | 48" x 72" x 1/2" |
| Model 9500  | 9500 lbs  | 48" x 72" x 1/2" |
| Model 10000 | 10000 lbs | 48" x 72" x 1/2" |

2



# FLOOD PANEL

[www.FloodPanel.com](http://www.FloodPanel.com) • Made in U.S.A. • 800-344-2963



ALL OF OUR PRODUCTS  
ARE DESIGNED AND MADE  
IN THE USA





Exhibit A: OEM Manual and Approved Shop Drawings



*Flood Panel LLC*

OEM

Original Equipment Manual

FLOOD PANEL

INSTALLATION AND  
MAINTENANCE MANUAL

**HAVE YOUR SITE SPECIFIC SHOP DRAWING AVAILABLE  
AS A REFERENCE TO THE GENERAL NOTES AND  
INSTALLATION DETAILS BELOW**

## Handling and Storage:

GENERAL: The Aluminum Flood Panels supplied for this project are virtually maintenance free. However, there are certain things you should bear in mind concerning their proper care, storage and handling.

The Flood Barriers are deployed when impending rising water is threatening the area. When it is time to install the Aluminum Flood Panels, time is of the essence and proper storage of the Aluminum Flood Panels will greatly aid in the speedy deployment and installation of this Flood Mitigation System.

The Architecture Metals & Flood Panel, LLC Inspection and Maintenance Plan includes all components required to satisfy Item#2 in FEMA Technical Bulletin 3-93.

### INSPECTION AND MAINTENANCE:

Every flood proofing design requires some degree of periodic maintenance and inspection to ensure all components will operate properly under flood conditions. The necessary inspection and maintenance activities, including inspection intervals and repair requirements, must be adhered to in this Inspection and Maintenance Manual. Components should be inspected as part of an annual (at a minimum) maintenance and inspection program should include, but not limited to, the following:

- Mechanical equipment such as sump pumps and generators.
- Flood shields and closures to ensure that they fit properly and that the gaskets and seals are in good working order, properly labeled and stored as indicated in the Flood Emergency Operations Manual.
- Walls and wall penetrations are inspected for cracks and potential leaks.
- Leaves and berms, excessive vegetation growth must be removed.

Both the Flood Emergency Operation Plan and Inspection Maintenance Plan are necessary at the time that the Non-Residential Flood Proofing Certificate is submitted to the community.

Before issuing a building permit, the community should require that the properly owner sign an agreement stating that the Plan will be adhered to. The community should also be assured that the inspection and maintenance activities required by the Plan will continue regardless of changes in ownership of the flood proofed building. This assurance should be accomplished by appropriate deed restrictions. Any lease agreement should also contain clear language stating the leaseholder's responsibilities for the flood proofed building.

HANDLING AND STORAGE GUIDELINES:

- ❑ Do not stack barriers on top of one another. This will cause bending or distortion of the sealing flanges, thereby, rendering the barriers ineffective for their intended use.
- ❑ Store all barriers in an upright position (the same position they will be in when they are installed on the building). All barriers are to be marked indicating the Identification and Location of the barrier deployment location. The Identification is to match the ID and location as indicated on the AM As-Built Submittal Drawings, the site map used for deployment and the flood panel door schedule provided for the project.
- ❑ Store all braces, brackets, supports and hardware with the barriers or clearly marked in a specific location determined by the Owner or Occupant.
- ❑ Flood Panels must be stored in a clean, dry location free of debris, sand, pebbles, etc. Debris embedded in the gasket material will prevent proper sealing of the gasket materials.
- ❑ Store a copy of the Aluminum Flood Panels Inventory Sheet, drawings and deployment plan in the same location as the Flood Panel and Support storage.
- ❑ Flood Panel Barriers should always be handled by two (2) individuals. Dragging or sliding of the Flood Panel barriers on the neoprene gasket surface will possibly damage the gasket material. Damage will interfere with the sealing capability of the gasket materials.

**INSTALLATION OF FLOOD PANELS:**

The following steps need to be followed in order to ensure that the Flood Panels are installed in the proper manner to provide leak-free operation:

- ❑ Locate the associated Flood Panel and supports that corresponds with the openings you are about to install. The identification of the Flood Panels and supports can be found on the “Flood Panel inventory spread sheet” which was shipped with the Flood Panel order.
- ❑ Move the Flood Panel(s) to the desired location taking care not to damage the sealing flanges or sealing gaskets in any way.

GENERIC OEM – Original Equipment Manual  
ALUMINUM FLOOD PANEL  
INSTALLATION AND MAINTENANCE MANUAL

- ❑ Using a screwdriver remove the sidewalk bolts from the floor and walls of the opening. Retain the bolts for installation of the barrier(s).
- ❑ Using a boom, clean the floors of any and all debris in the area where the barrier is to be installed.
- ❑ Inspect the barrier gasket removing any debris from the gasket material. In order for the gasket to properly seal, it must be free from all debris.
- ❑ Utilizing two individuals lift the Flood Panel and move into place. Lower panel into place taking note to align panel bolt holes with the holes in the wall/floor and/or wall embed plate and floor.
- ❑ Install the two end bolts for alignment purposes. Do not tighten the floor bolts at this time.
- ❑ For Wall Mount Barriers:
  - ❑ Install top and bottom wall bolts on each wall at this time to ensure proper alignment.
  - ❑ Install the remaining flood and wall bolts at this time.
  - ❑ Tighten down the floor bolts until snug; turn sidewalk bolts an additional half turn to compress the gasket. NOTE: Care must be taken to ensure the bolts are not over-tightened. This could result in the bending of the sealing flange and cause the barrier to leak.
  - ❑ Tighten down the wall bolts in the same manner as described for the floor bolts.
- ❑ For Trapped Panels:
  - ❑ For panels where one side is trapped; as in a projecting wall application, follow the procedures as described above. However, when securing the bolts, be sure to secure the bolts on the trapped wall first; followed by the floor bolts; and finally the wall mounted flanges.
- ❑ For Trapped Panels (Jamb to Jamb or Jamb to Wall):
  - ❑ For Panels where one side is trapped, as in a projecting wall application, follow the procedure as described above but when securing the bolts be sure to secure the bolts on the trapped wall first, followed by the floor bolts and finally the wall mounted flanges.

GENERIC OEM – Original Equipment Manual  
ALUMINUM FLOOD PANEL  
INSTALLATION AND MAINTENANCE MANUAL

- For Panels with Braces:
  - Once the Panels have been secured at the floor and walls the braces should be installed.
  - Install the brace floor bracket first with the associated sidewalk bolts. All 4 bolts should be installed loosely for alignment purposes. NOTE: The brace floor brackets (angles) do not have gaskets; they are not required at this location.
  - Install the single through bolt connecting the brace to the barrier-mounted bracket.
  - Secure the brace bracket floor bolts.
  - Secure the single through-bolt connecting the brace to the barrier.
  - After anchor or embed installation, Mid-span and corner support installation requires moving the support to the embed location, lining up the 3/4" support holes to the in-ground embed or anchors and tightening the bolts at the support base compressing the gasket at the bottom of the support.

**REMOVAL OF FLOOD PANELS:**

- Remove all braces and floor mounted brackets.
- Remove all floor bolts followed by all wall bolts.
- Lift Panels clear of the opening and replace all bolts with sidewalk bolts or Allen screws in their respective locations to protect the anchor holes from dust and debris
- Clean all panels and gaskets to remove debris
- Inspect all openings, anchors, hardware, gaskets, seals, welds, connection plates, brackets, braces and closures for damage.
- Return all barriers, brackets, supports, anchor plates, hardware and removable parts to the assigned storage location and store as outlined in the Handling and Storage section of this Manual.



## **ANNUAL INSPECTION OF FLOOD PANELS:**

- ❑ Inspect all gaskets on the flood panels, closures, hardware and site locations to ensure the panels fit properly and that the gaskets and seals are in good working order, properly labeled and stored as indicated in the Flood Emergency Operations Manual.
- ❑ Inventory of flood panels versus flood plan.
- ❑ Inspection of each flood panel for metal integrity.
- ❑ Inspection for attachments (i.e.; screw and rails) completeness.
- ❑ Inspection of each rubber gasket and molding.

# Approval Review

- Approved for release to production
- Approved as corrected for release to production
- Revise and re-submit
- Submit specific item

This review is only for general conformance with the design concept of the project and general compliance with the information given in the contract documents. Corrections or comments made on the shop drawings during this review do not relieve the contractor from compliance with the plans and specifications. Approval of a specific item shall not include approval of an assembly of which the item is a component. Contractor is responsible for: dimensions to be confirmed and correlated at the job site. This review does not pertain to the fabrication process or to the means, methods, sequences and procedures of construction or installation of this product or coordination of the work of all trades and for performing all work in a safe and satisfactory manner.

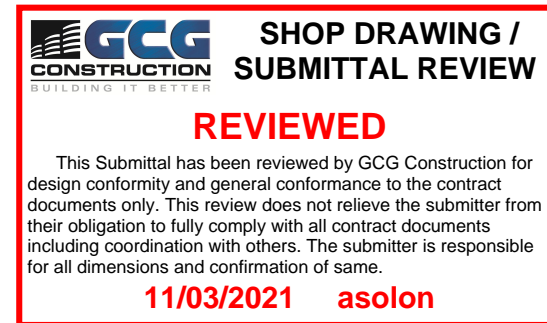
Approved By (signature): Andrew Solon

Approved By (Print Name): Andrew Solon

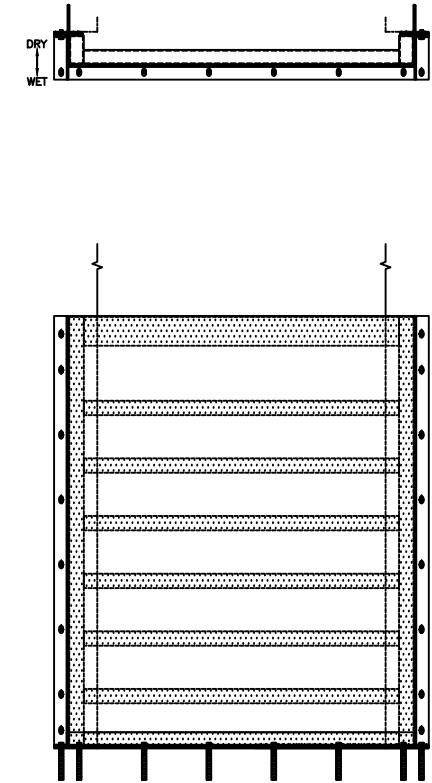
Company Name: GCG Construction, Inc.

Approval Date: 11/3/21

# Approval Stamp



PREVIEW



## INDEX:

NOTES  
OPENINGS  
DETAILS


NOTES  
1, 2  
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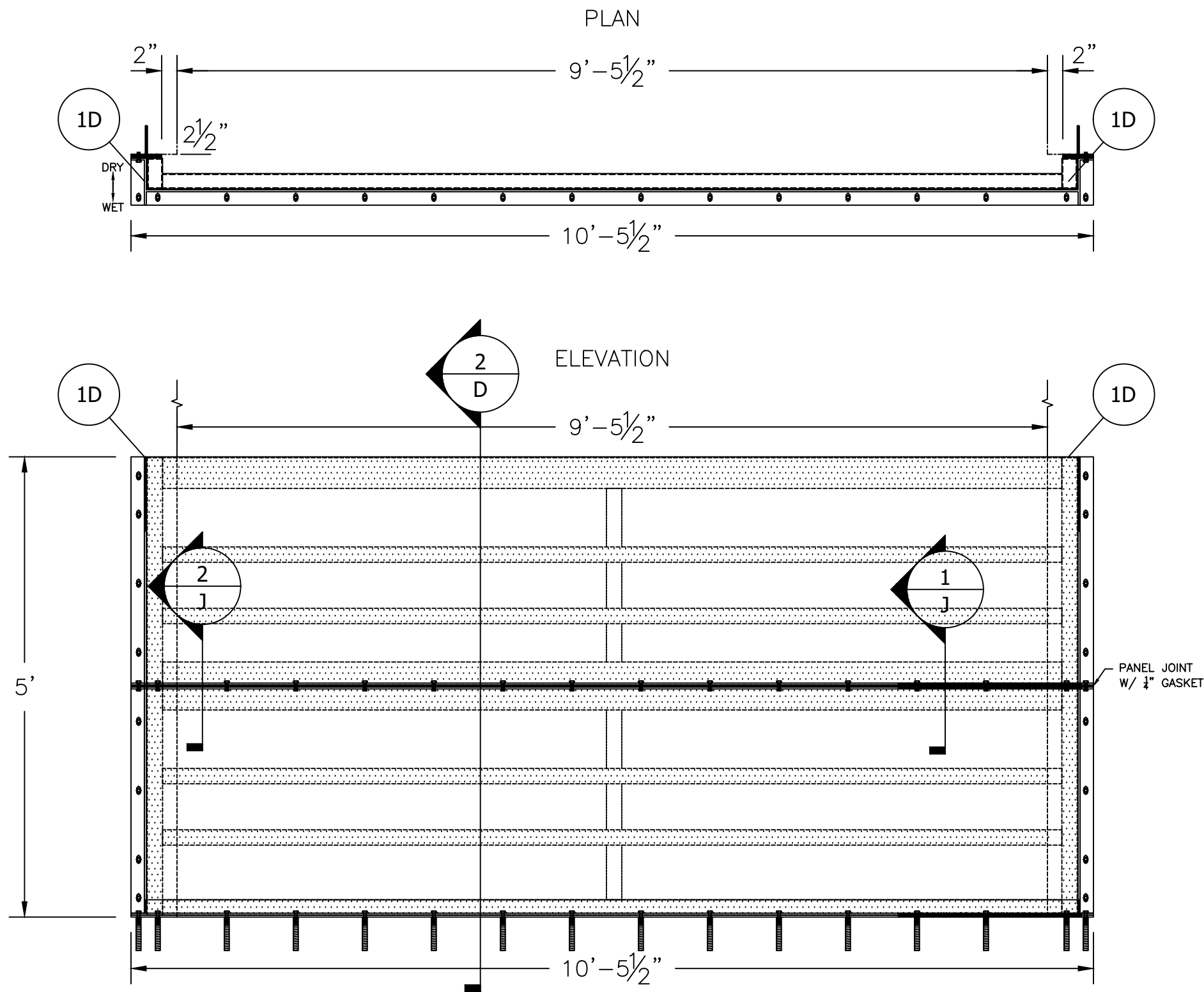
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|---------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>ARCHITECT OF RECORD:</b></p> <p>ARCHITECT NAME: _____</p> <p>COMPANY NAME: _____</p> <p>ADDRESS: _____</p> <p>CITY/STATE: _____</p> <p>PHONE: _____</p> | <p><b>ENGINEER OF RECORD:</b></p> <p>ENGINEER NAME: _____</p> <p>COMPANY NAME: _____</p> <p>ADDRESS: _____</p> <p>CITY/STATE: _____</p> <p>PHONE: _____</p> | <p><b>FLOOD CERTIFICATE ENDORSEMENT:</b><br/>(NAME OF AOR OR EOR)</p> <p>_____</p> <p><b>JOB ADDRESS:</b></p> <p>482 NLACKBURN POINT ROAD<br/>OSPREY, FL 34229</p> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|

|                                                                                                                                                                                               |                   |                                   |                                                                                                                                                                                                                                                                                                                                                       |            |                          |                     |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|-----------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|--------------------------|---------------------|
| START DATE<br>9/28/2021                                                                                                                                                                       | JOB NO.<br>21-062 | JOB TITLE<br>DEEP LAGOON SEA FOOD | REV#                                                                                                                                                                                                                                                                                                                                                  | REV DATE   | DESCRIPTION              | SHEET / OPENING NO. |
| <p><b>FLOOD PANEL</b></p> <p>ARCHITECTURE METALS, LTD.<br/>5500 MILITARY TRAIL, STE #22-220<br/>JUPITER, FL 33458<br/>P: 561-744-2727   F: 561-744-2755<br/>WWW.AM20.COM   SALES@AM20.COM</p> |                   |                                   | 1                                                                                                                                                                                                                                                                                                                                                     | 11/02/2021 | RO CHANGE TO OPENIMNG #1 | COVER               |
|                                                                                                                                                                                               |                   |                                   | 2                                                                                                                                                                                                                                                                                                                                                     | -          | ---                      | COVER               |
| <p>GENERAL NOTES &amp; COMMENTS</p> <p style="font-size: 2em; text-align: center;">REV1 DWG<br/>11/2/2021</p>                                                                                 |                   |                                   | 3                                                                                                                                                                                                                                                                                                                                                     | -          | ---                      | SCALE               |
|                                                                                                                                                                                               |                   |                                   | 4                                                                                                                                                                                                                                                                                                                                                     | -          | ---                      | CUSTOM              |
|                                                                                                                                                                                               |                   |                                   | 5                                                                                                                                                                                                                                                                                                                                                     | -          | ---                      |                     |
|                                                                                                                                                                                               |                   |                                   | 6                                                                                                                                                                                                                                                                                                                                                     | -          | ---                      |                     |
|                                                                                                                                                                                               |                   |                                   | 7                                                                                                                                                                                                                                                                                                                                                     | -          | ---                      |                     |
| SAVE DATE<br>11/2/2021                                                                                                                                                                        | AUTHOR<br>TDO     | CLIENT<br>NFP                     | <small>All drawings, designs, renderings, specifications and configurations contained in these documents are the exclusive property of Architecture Metals (AM). No duplication, copies, or use of these documents to produce some or similar products is allowed without express written consent of AM. This material can not be duplicated.</small> |            |                          |                     |

GENERAL NOTES IBC:

1. The structural design of these removable flood panels has been designed for hydrostatic flood loads with water pressures corresponding to maximum water height as depicted in the enclosed drawings plus hydrodynamic loads (Calculated per asce 7-10 with 8 FT/S maximum water velocity). Free board of 1 foot in ht. is added to the system height of each opening in accordance with the documents listed below in notes 2,3 and 5.
  2. It shall be determined, on a job by job basis, the required Panel height and flow speed for the design of Removable Flood Panels, based on FEMA's criteria (See Note #3) as well as per ASCE 24-05 Standard. Installation and construction of these Flood Panels for use within flood hazard areas shall be in accordance with the American Society of Civil Engineers Flood Resistant Design and Construction Standard SEI/ASCE 24-05.
  3. Design criteria has been based on the 2012 Edition of the International Building Code, the corresponding provisions of ASCE 24-05, FEMA flood proofing non-residential structures manual FEMA 102, FEMA P-936 dated July, 2013 and FEMA Technical Bulletin 3-93. Design flood loads have been determined in accordance with ASCE 7-10. Design wind loads have been determined in accordance with ASCE 7-10 for 140 mph Basic Wind Speed and exposure C (Risk category II building)
  4. Flood Panels shall not be installed within areas where ice flows or ice jams occur.
  5. In order to certify flood elevation, Flood Panel design have tested by an independent testing lab for water infiltration in accordance with FEMA 102 manual for flood proofing of non-residential structures, specifications Section 8, Page 70.
  6. Flood Panel installer to use gaskets and approved sealants following all the recommendations and specifications of the manufacturers respectively.
  7. Owner, General contractor or installer to verify all dimensions, wall and floor conditions at site before proceeding with the work, and shall notify this engineer if any discrepancy is found that would alter the structural design of these Flood Panels.
  8. Existing slabs and walls adjacent to opening where Flood Panel is to be installed shall be given a surface treatment by means of water proof sealer before flood Panel is installed. Surface must be smooth, square, plumb and level.
  9. Existing slabs and walls adjacent to openings where Flood Panels are to be installed shall be structurally designed by engineer of record, to sustain the same hydrostatic, hydrodynamic and impact pressures that correspond to maximum water elevation above finished floor at top of Panel, based on criteria mentioned on Note #3.
  10. Drop-in anchors embedded into concrete for removable support installation shall be covered with a cap or similar device to protect their inside hold from dust, so that machine screws can easily be installed at time of flood warning. Concrete anchors by others.
  11. Separation of Panel to window/door shall be measured from back of Panel to window/door including any knob, handle, or protruding device, and shall be 2" minimum.
  12. All aluminum extrusions to be 6005-T5 alloy.
  13. All sheet metal screws shall be as manufactured by ITW/Buildex "TEK Screws", and to be made of non-corrosive material.
  14. All bolts to be galvanized steel ASTM A-307 designation or 304 Series Stainless Steel.
  15. All gaskets installed shall be neoprene per drawings.
  16. All welding to conform to the most recent version of American Welding Society AWS D1.1 or D1.2 as applicable. 1998 Regulations. Use certified welders. Use ER-5356 Electrodes for aluminum and E70 steel.
  17. The engineer, Architecture Metals Ltd. or Flood Panel LLC. is not responsible for construction safety at site which is the owner, general contractor or installer's responsibility. Flood Panel Manufacturer to be responsible for providing the tenant with shop drawings and proper instructions for the installation of these Flood Panels.
  18. Surfaces against which the sealing gasket presses must be built "paper-smooth" to prevent excessive water extrusion, beyond that allowed by requirements. All surfaces must be plumb, square and level.
  19. To receive a warranty for the flood barriers provided by Flood Panel LLC as depicted in this set of drawings, the following information must be provided by the building owner to Flood Panel LLC:  
 To receive credit for flood proofing, a completed Flood proofing Certificate for Non-Residential Structures is required for non-residential and business buildings in the Regular Program communities, located in zones A1-A30, AE, AR, AR Dual, AO, AH, and A with BFE.  
 In order to ensure compliance and provide reasonable assurance that due diligence had been applied in designing and constructing flood proofing measures, the following information must be provided with the completed Flood proofing Certificate:
    - 19.1. Photographs of shields, gates, barriers, or components designed to provide flood proofing protection to the structure installed and deployed on the building.
    - 19.2. Written certification that the barrier system was inspected during and after initial installation and is installed per the drawings, engineering and instructions provided by the manufacturer.
    - 19.3. Written certification that the envelope of the structure is watertight with walls substantially impermeable to the passage of water required under 44 Code of Federal Regulations (44 CFR 60.3 (c)(3))
    - 19.4. A comprehensive Maintenance Plan for the entire structure to include but not limited to:
      - Exterior envelope of the structure
      - All penetrations to the exterior of the structure
      - All shields, gates, barriers, or components designed to provide flood proofing protection to the structure
      - All seals or gaskets for shields, gates, barriers, or components
      - Location of all shields, gates, barriers, and components as well as all associated hardware, and any
      - Materials or specialized tools necessary to seal the structure.
- U.S. DEPARTMENT OF HOMELAND SECURITY  
 FEDERAL EMERGENCY MANAGEMENT AGENCY  
 National Flood Insurance Program  
 NFIP Flood proofing
20. Responsibility for filing the building "Flood Proofing Certificate" is the responsibility of the owner's architect and/or engineer and not of Architecture Metals Ltd. or Flood Panel LLC.

|                                                                                                                                                                                                                                                                                            |                   |                                                   |      |            |                                                                                                                                                                                                                                                                                                                                                       |                     |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|---------------------------------------------------|------|------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|
| START DATE<br>9/28/2021                                                                                                                                                                                                                                                                    | JOB NO.<br>21-062 | JOB TITLE<br>DEEP LAGOON SEA FOOD                 | REV# | REV DATE   | DESCRIPTION                                                                                                                                                                                                                                                                                                                                           | SHEET / OPENING NO. |
| ADDRESS<br>482 NLACKBURN POINT ROAD OSPREY, FL 34229                                                                                                                                                                                                                                       |                   | GENERAL NOTES & COMMENTS<br>REV1 DWG<br>11/2/2021 | 1    | 11/02/2021 | RO CHANGE TO OPENIMNG #1                                                                                                                                                                                                                                                                                                                              | NOTES               |
|  <p>ARCHITECTURE METALS, LTD.<br/>         5500 MILITARY TRAIL, STE #22-220<br/>         JUPITER, FL 33458<br/>         P: 561-744-2727   F: 561-744-2755<br/>         WWW.AM20.COM   SALES@AM20.COM</p> |                   | 2                                                 | -    | ---        | OPENING NAME<br>COVER                                                                                                                                                                                                                                                                                                                                 |                     |
|                                                                                                                                                                                                                                                                                            |                   | 3                                                 | -    | ---        | SCALE<br>CUSTOM                                                                                                                                                                                                                                                                                                                                       |                     |
|                                                                                                                                                                                                                                                                                            |                   | 4                                                 | -    | ---        | <small>All drawings, designs, renderings, specifications and configurations contained in these documents are the exclusive property of Architecture Metals (AM). No duplication, copies, or use of these documents to produce some or similar products is allowed without express written consent of AM. This material can not be duplicated.</small> |                     |
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|                                                                                                                                                                                                                                                                                            |                   | 6                                                 | -    | ---        |                                                                                                                                                                                                                                                                                                                                                       |                     |
| SAVE DATE<br>11/2/2021                                                                                                                                                                                                                                                                     | AUTHOR<br>TDO     | CLIENT<br>NFP                                     | 7    | -          | ---                                                                                                                                                                                                                                                                                                                                                   |                     |



OPENING #1  
 AM/FP FLOOD PANEL SYSTEM  
 WALL TO SLAB MOUNT  
 REMOVABLE SYSTEM  
 W / 4" PRIMED STEEL WALL EMBED PLATES  
 5'-0" PROTECTION HEIGHT / R.O. 9'-5 1/2"

SHEET / OPENING NO.

1

OPENING NAME

---

SCALE

3/4" = 1'-0"

GENERAL NOTES  
& COMMENTS

REV1 DWG  
11/2/2021

FREIGHT/PALLETS

SUPPORTS

LOGS

EMBEDS

MISC.

REVISION 1  
11/02/2021

REVISION 2  
-

REVISION 3  
-

REVISION 4  
-

REVISION 5  
-

REVISION 6  
-

REVISION 7  
-

CLIENT  
NFP

JOB TITLE  
DEEP LAGOON SEA FOOD

ADDRESS  
482 NLACKBURN POINT  
ROAD OSPREY, FL 34229

JOB NO.  
21-062

START DATE  
9/28/2021

**FLOOD PANEL**

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 SALES@AM20.COM

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FREIGHT/PALLETS

SUPPORTS

LOGS

EMBEDS

MISC.

REVISION 1  
11/02/2021

REVISION 2  
-

REVISION 3  
-

REVISION 4  
-

REVISION 5  
-

REVISION 6  
-

REVISION 7  
-

CLIENT  
NFP

JOB TITLE  
DEEP LAGOON SEA FOOD

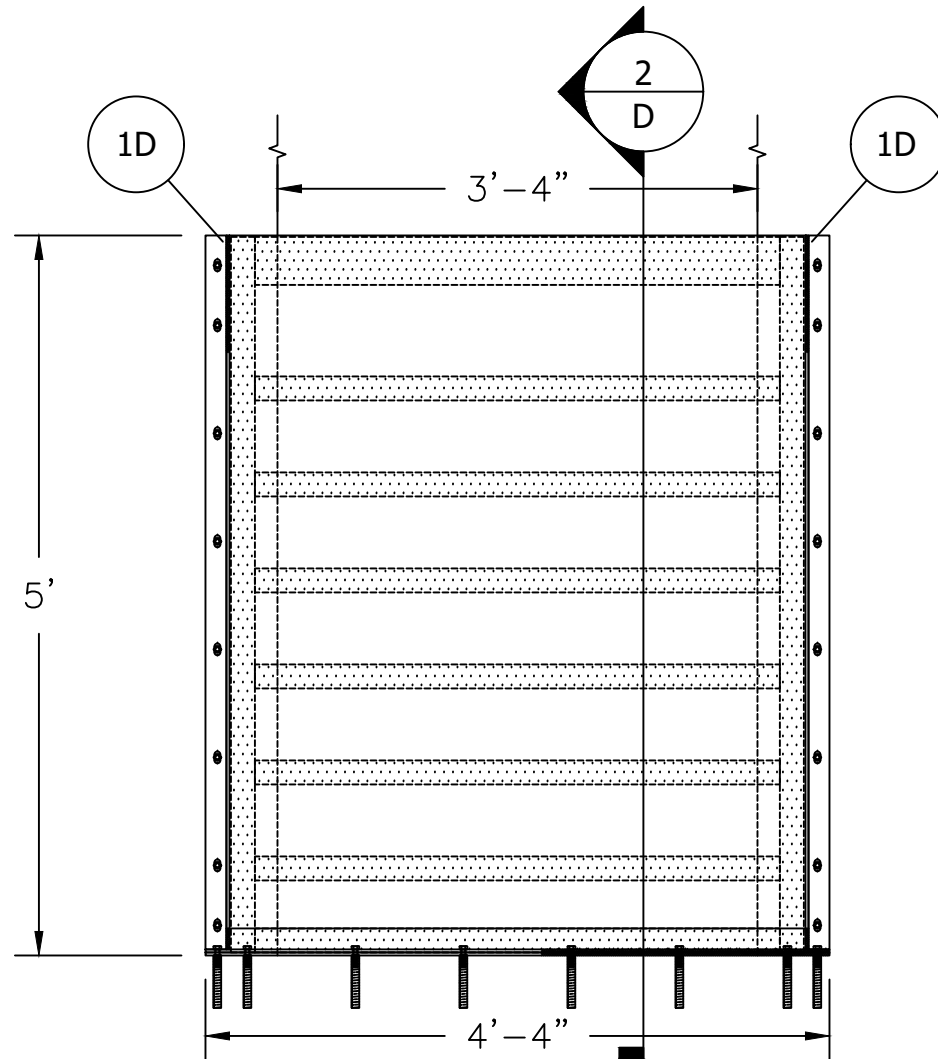
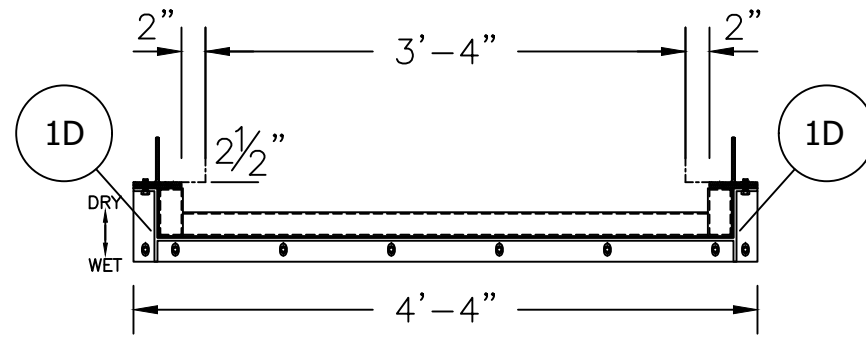
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JOB NO. 21-062      START DATE 9/28/2021

**FLOOD PANEL**

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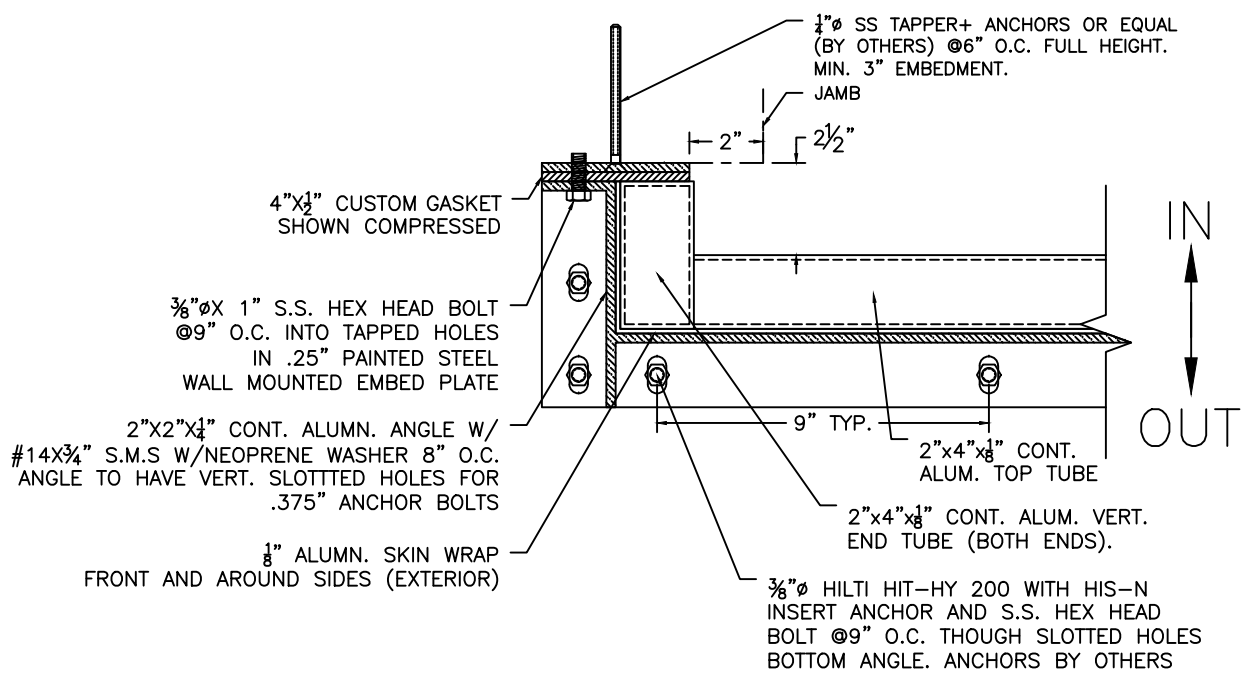
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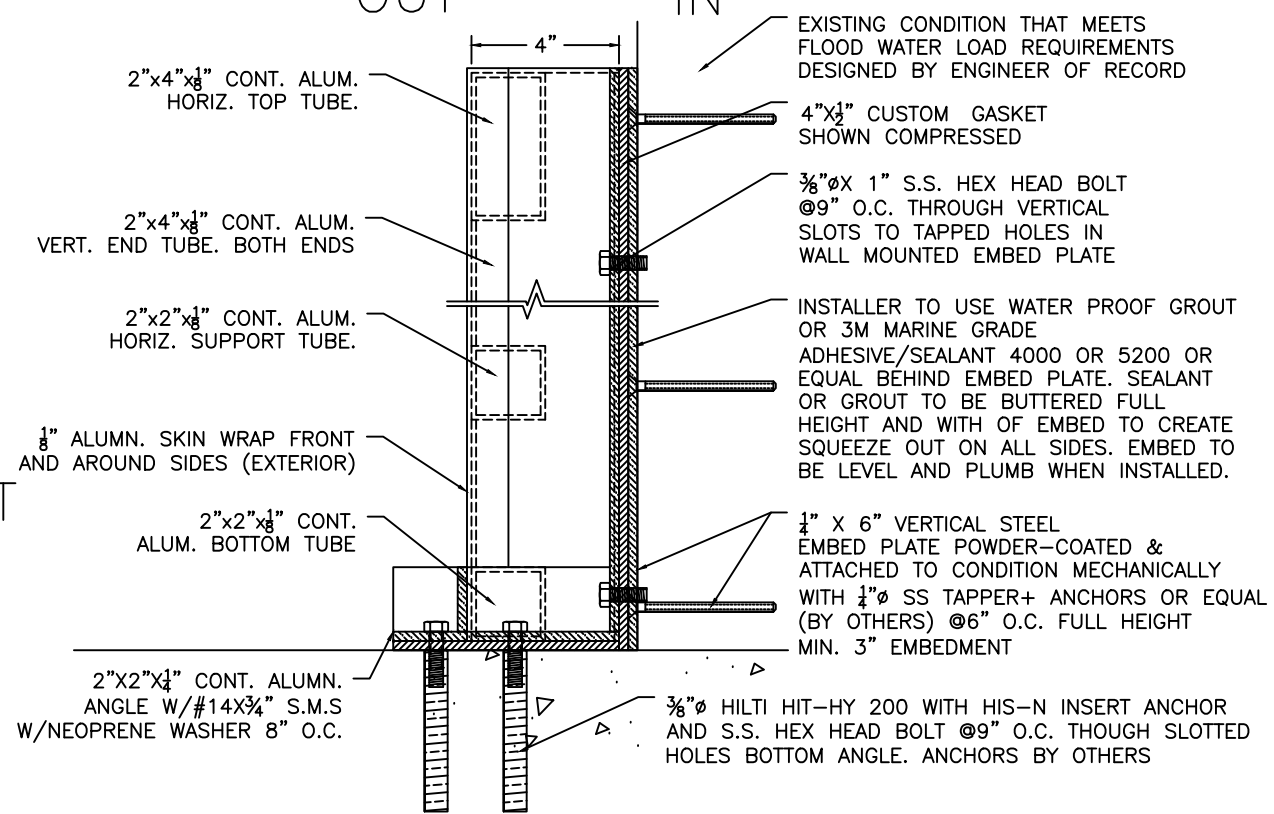
OPENING #2  
AM/FP FLOOD PANEL SYSTEM  
WALL TO SLAB MOUNT  
REMOVABLE SYSTEM  
W / 4" PRIMED STEEL WALL EMBED PLATES  
5'-0" PROTECTION HEIGHT / R.O. 3'-4"

# 3-SIDED WALL-TO-SLAB FLOOD PANEL SYSTEM

1D  
PLAN VIEW DETAIL  
NOTE TUBE THICKNESS (1/8")

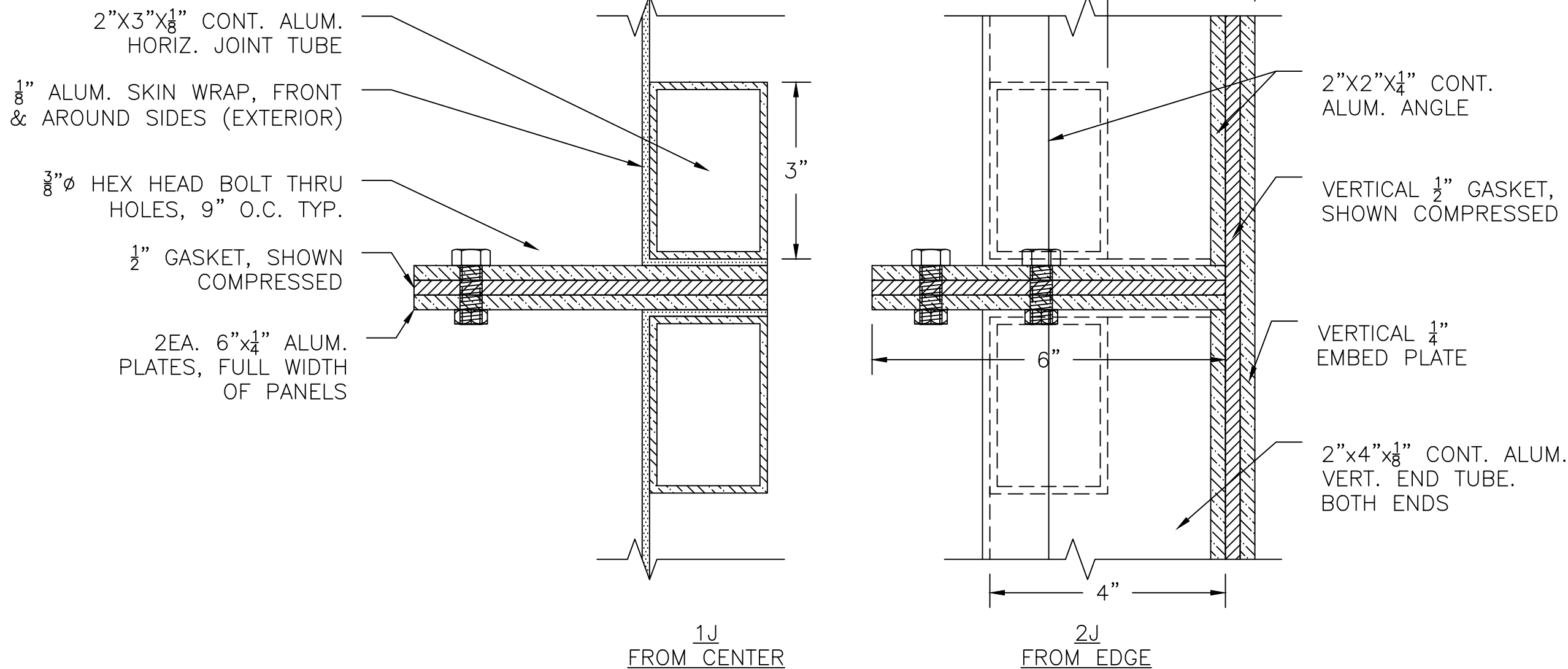


2D  
SECTION VIEW DETAIL  
OUT ← → IN



PANEL JOINT, SECTION VIEW DETAIL

OUT ← → IN



SHEET / OPENING NO.

J

OPENING NAME

---

SCALE

1:2

GENERAL NOTES & COMMENTS

REV1 DWG  
11/2/2021

FREIGHT/PALLETS

SUPPORTS

LOGS

EMBEDS

MISC.

REVISION 1

11/02/2021

REVISION 2

-

REVISION 3

-

REVISION 4

-

REVISION 5

-

REVISION 6

-

REVISION 7

-

CLIENT  
NFP

JOB TITLE  
DEEP LAGOON SEA FOOD

ADDRESS  
482 NLACKBURN POINT  
ROAD OSPREY, FL 34229

JOB NO.  
21-062

START DATE  
9/28/2021

**FLOOD PANEL**

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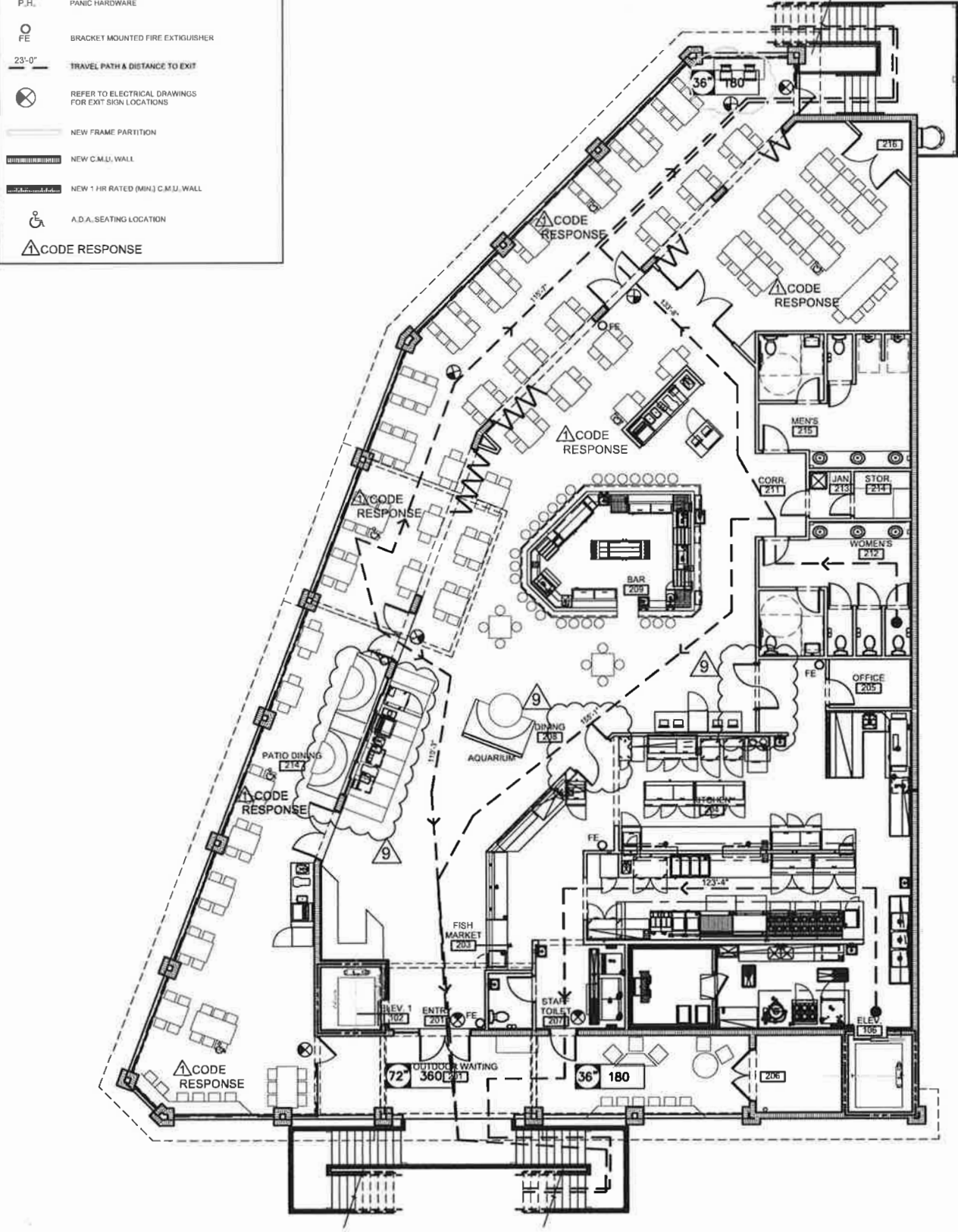
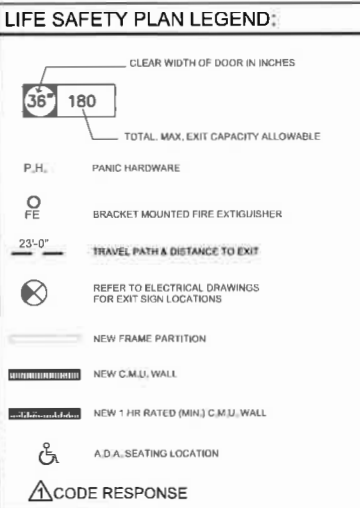
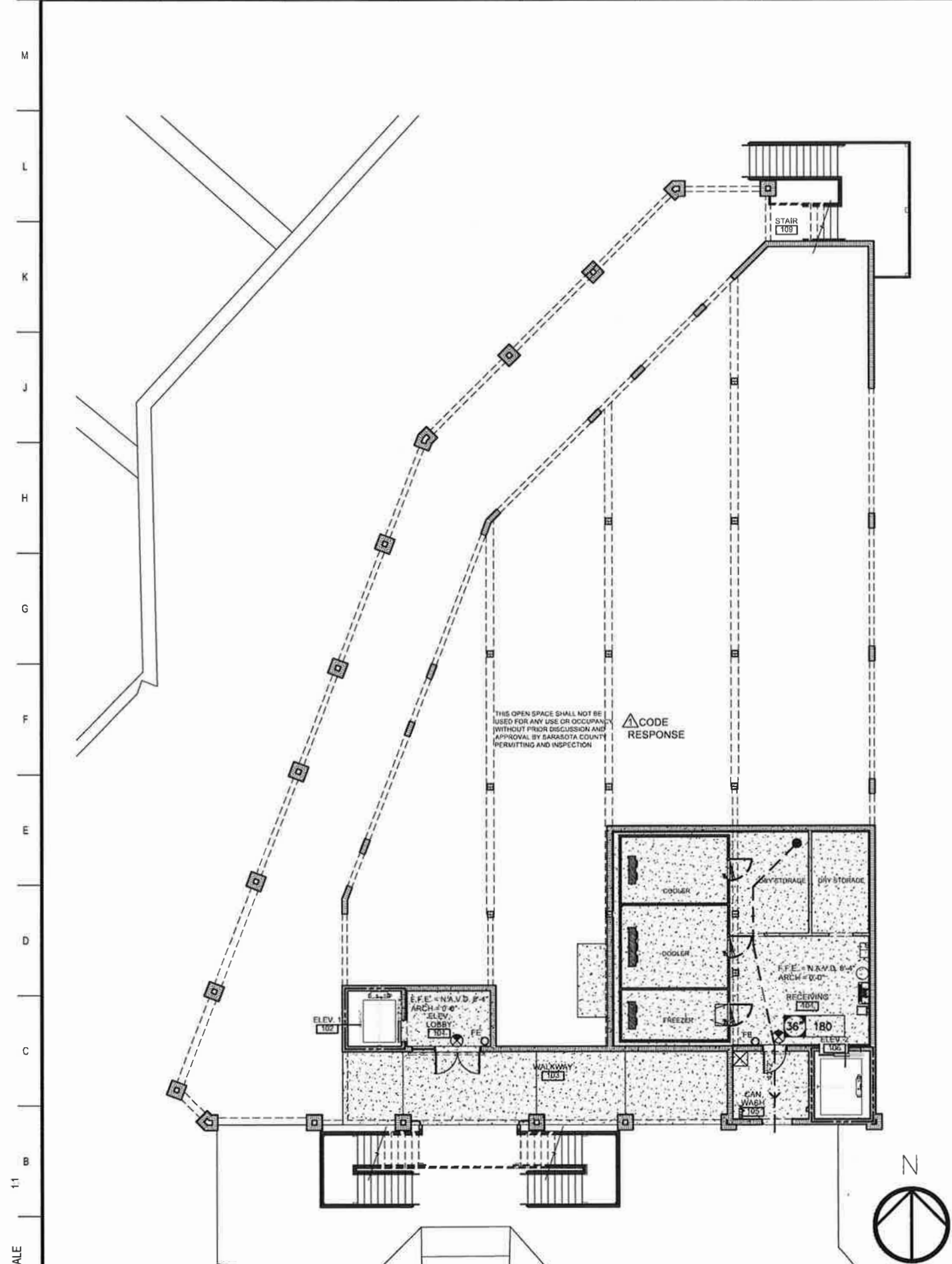


**Exhibit B: Site Specific Floor Plan & Life Safety Plan**









THE DESIGN PROFESSIONAL MAKES NO WARRANTY AND ACCEPTS NO LIABILITY FOR PROBLEMS WHICH MAY BE CAUSED BY FAILURE TO FOLLOW THESE PLANS. THE DESIGN PROFESSIONAL SHALL BE RESPONSIBLE FOR THE DESIGN WORK THEY EXECUTE, OR FOR PROBLEMS WHICH ARE CAUSED BY THEIR FAILURE TO FOLLOW THE DESIGN PROFESSIONAL'S CONTRACT DOCUMENT AND SPECIFICATIONS. THE DESIGN PROFESSIONAL SHALL BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, INCONSISTENCIES, OR CONFLICTS WHICH MAY BE ALLEGED.

THE DESIGN PROFESSIONAL MAKES NO WARRANTY AND ACCEPTS NO LIABILITY FOR PROBLEMS WHICH MAY BE CAUSED BY FAILURE TO FOLLOW THESE PLANS...  
43 BARKLEY CIRCLE SUITE #202  
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P: 239.275.0225 F: 239.275.7123  
**GMA**  
ARCHITECTS  
PLANNERS

LIFT STATION POWER GENERATOR FOR  
**DEEP LAGOON SEAFOOD  
AND OYSTER HOUSE**  
CASEY KEY, FLORIDA  
LIFE SAFETY PLAN

| ISSUE HISTORY |                             |   |
|---------------|-----------------------------|---|
| PURPOSE:      | PERMIT                      | ○ |
| DATE:         | 1-15-20                     |   |
| PURPOSE:      | CODE REV. #1                | △ |
| DATE:         | 3-11-20                     |   |
| PURPOSE:      | UPDATED BID                 | △ |
| DATE:         | 8-24-20                     |   |
| PURPOSE:      | OWNER REV. 1                | △ |
| DATE:         | 12-22-20                    |   |
| PURPOSE:      | OWNER REV. 2                | △ |
| DATE:         | 3-23-21                     |   |
| PURPOSE:      | WEEKLY RITZ-EM REV. 5/20/21 | △ |
| DATE:         |                             |   |
| PURPOSE:      |                             | △ |
| DATE:         |                             |   |
| PURPOSE:      |                             | △ |
| DATE:         |                             |   |
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| PURPOSE:      |                             | △ |
| DATE:         |                             |   |
| PURPOSE:      |                             | △ |
| DATE:         |                             |   |

A1 FIRST FLOOR LIFE SAFETY PLAN  
SCALE 1/8" = 1'-0"

A9 SECOND FLOOR LIFE SAFETY PLAN  
SCALE 1/8" = 1'-0"

STATE OF FLORIDA  
Professional Engineer  
by Ramon  
Acedo  
Date:  
2021.09.15  
PROJECT NO. 18041  
**LS-01**  
15-51-10-04-00



Exhibit C: Pre-Construction Floodproofing Cert. for Non-Residential Structures 5-13-2020



## FLOODPROOFING CERTIFICATE FOR NON-RESIDENTIAL STRUCTURES

The floodproofing of non-residential buildings may be permitted as an alternative to elevating to or above the Base Flood Elevation; however, a floodproofing design certification is required. This form is to be used for that certification. Floodproofing of a residential building does not alter a community's floodplain management elevation requirements or affect the insurance rating unless the community has been issued an exception by FEMA to allow floodproofed residential basements. The permitting of a floodproofed residential basement requires a separate certification specifying that the design complies with the local floodplain management ordinance.

|                                                                                                                                |                                       |
|--------------------------------------------------------------------------------------------------------------------------------|---------------------------------------|
| BUILDING OWNER'S NAME<br><br>Phelan Properties of Casey Key, LLC                                                               | <b>FOR INSURANCE COMPANY USE</b>      |
| STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER<br><br>482 Blackburn Point Road | POLICY NUMBER                         |
| OTHER DESCRIPTION (Lot and Block Numbers, etc.)                                                                                | COMPANY NAIC NUMBER                   |
| CITY            Osprey                                                                                                         | STATE <sub>FL</sub> Zip Code    34229 |

### SECTION I – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM:

| COMMUNITY NUMBER | PANEL NUMBER | SUFFIX | DATE OF FIRM INDEX | FIRM ZONE | BASE FLOOD ELEVATION<br>(in AO Zones, Use Depth) |
|------------------|--------------|--------|--------------------|-----------|--------------------------------------------------|
| 125144           | 0236         | F      | 10-4-2016          | AE        | 12                                               |

Indicate elevation datum used for Base Flood Elevation shown above:  
 NGVD 1929  
 NAVD 1988  
 Other/Source: \_\_\_\_\_

### SECTION II – FLOODPROOFED ELEVATION CERTIFICATION (By a Registered Professional Land Surveyor, Engineer, or Architect)

All elevations are based on design documents.

**Floodproofing Elevation Information:**

Building is floodproofed to an elevation of 13 . 0 feet (In Puerto Rico only: \_\_\_\_\_ . \_\_\_\_\_ meters).

NGVD 1929  
 NAVD 1988  
 Other/Source: \_\_\_\_\_

(Elevation datum used must be the same as that used for the Base Flood Elevation.)

Height of floodproofing on the building above the lowest adjacent grade is 5'-0" feet (In Puerto Rico only: \_\_\_\_\_ meters).

**For Unnumbered A Zones Only:**

Highest adjacent (finished) grade next to the building (HAG) \_\_\_\_\_ . \_\_\_\_\_ feet (In Puerto Rico only: \_\_\_\_\_ . \_\_\_\_\_ meters).

NGVD 1929  
 NAVD 1988  
 Other/Source: \_\_\_\_\_


(NOTE: For insurance rating purposes, the building's floodproofed design elevation must be at least 1 foot above the Base Flood Elevation to receive rating credit. If the building is floodproofed only to the Base Flood Elevation, then the building's insurance rating will result in a higher premium. See the Instructions section for information on documentation that must accompany this certificate if being submitted for flood insurance rating purposes.)

## FLOODPROOFING CERTIFICATE FOR NON-RESIDENTIAL STRUCTURES

**Non-Residential Floodproofed Elevation Information Certification:**

Section II certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information

*I certify that the information in Section II on this Certificate represents a true and accurate interpretation and determination by the undersigned using the available information and data. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

|                                         |                                |                            |                   |                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|-----------------------------------------|--------------------------------|----------------------------|-------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| CERTIFIER'S NAME<br>David Krebs         | LICENSE NUMBER (or Affix Seal) |                            |                   |  <p style="font-size: small;">The item has been electronically/digitally signed and sealed using a SHA-1 authentication code and printed copies of the document are not considered signed and sealed and all SHA-1 authentication codes must be verified on any electronic copies.</p> <p style="font-size: x-large; opacity: 0.5;">HERE</p> |
| TITLE<br>Project Architect              | COMPANY NAME<br>GMA Architects |                            |                   |                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| ADDRESS<br>43 Barkley Circle, Suite 202 | CITY<br>Fort Myers             | STATE<br>Florida           | ZIP CODE<br>33907 |                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| SIGNATURE                               | DATE<br>5-11-2020              | PHONE<br>+1 (239) 275-0225 |                   |                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|                                         |                                |                            |                   | David H. Krebs, Jr. A.R. 95205<br>2020.05.13 09:08:00 --4                                                                                                                                                                                                                                                                                                                                                                       |

**SECTION III – FLOODPROOFED CERTIFICATION (By a Registered Professional Engineer or Architect)**

**Non-Residential Floodproofed Construction Certification:**

*I certify the structure, based upon development and/or review of the design, specifications, as-built drawings for construction and physical inspection, has been designed and constructed in accordance with the accepted standards of practice (ASCE 24-05, ASCE 24-14 or their equivalent) and any alterations also meet those standards and the following provisions.*

The structure, together with attendant utilities and sanitary facilities is watertight to the floodproofed design elevation indicated above, is substantially impermeable to the passage of water, and shall perform in accordance with the 44 Code of Federal Regulations (44 CFR 60.3(c)(3)).

All structural components are capable of resisting hydrostatic and hydrodynamic flood forces, including the effects of buoyancy, and anticipated debris impact forces.

*I certify that the information in Section III on this certificate represents a true and accurate determination by the undersigned using the available information and data. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

|                  |                                |                  |          |                                                                          |
|------------------|--------------------------------|------------------|----------|--------------------------------------------------------------------------|
| CERTIFIER'S NAME | LICENSE NUMBER (or Affix Seal) |                  |          | <p style="font-size: x-large; opacity: 0.5;">PLACE<br/>SEAL<br/>HERE</p> |
| TITLE            | COMPANY NAME                   |                  |          |                                                                          |
| ADDRESS          | CITY                           | STATE<br>Florida | ZIP CODE |                                                                          |
| SIGNATURE        | DATE                           | PHONE            |          |                                                                          |

Copy all pages of this Floodproofing Certificate and all attachments for 1) community official, 2) insurance agent/company, and 3) building owner.



Exhibit D: Post-Construction Floodproofing Cert. for Non-Residential Structures 4-25-2022

### FLOODPROOFING CERTIFICATE FOR NON-RESIDENTIAL STRUCTURES

The floodproofing of non-residential buildings may be permitted as an alternative to elevating to or above the Base Flood Elevation; however, a floodproofing design certification is required. This form is to be used for that certification. Floodproofing of a residential building does not alter a community's floodplain management elevation requirements or affect the insurance rating unless the community has been issued an exception by FEMA to allow floodproofed residential basements. The permitting of a floodproofed residential basement requires a separate certification specifying that the design complies with the local floodplain management ordinance.

|                                                                                                                                      |                    |                                  |  |
|--------------------------------------------------------------------------------------------------------------------------------------|--------------------|----------------------------------|--|
| BUILDING OWNER'S NAME<br><br><b>Phelan Properties of Casey Key, LLC</b>                                                              |                    | <b>FOR INSURANCE COMPANY USE</b> |  |
| STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER<br><br><b>482 Blackburn Point Rd.</b> |                    | POLICY NUMBER                    |  |
| OTHER DESCRIPTION (Lot and Block Numbers, etc.)                                                                                      |                    | COMPANY NAIC NUMBER              |  |
| CITY<br><b>Osprey</b>                                                                                                                | STATE<br><b>FL</b> | Zip Code<br><b>34229</b>         |  |

#### SECTION I – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM:

| COMMUNITY NUMBER | PANEL NUMBER | SUFFIX   | DATE OF FIRM INDEX | FIRM ZONE | BASE FLOOD ELEVATION<br>(in AO Zones, Use Depth) |
|------------------|--------------|----------|--------------------|-----------|--------------------------------------------------|
| <b>125144</b>    | <b>0236</b>  | <b>F</b> | <b>1/11/2018</b>   | <b>AE</b> | <b>12</b>                                        |

Indicate elevation datum used for Base Flood Elevation shown above:  NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

#### SECTION II – FLOODPROOFED ELEVATION CERTIFICATION (By a Registered Professional Land Surveyor, Engineer, or Architect)

All elevations must be based on finished construction.

**Floodproofing Elevation Information:**

Building is floodproofed to an elevation of 13 . 0 feet (In Puerto Rico only: \_\_\_\_\_ . \_\_\_\_\_ meters).

NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

(Elevation datum used must be the same as that used for the Base Flood Elevation.)

Height of floodproofing on the building above the lowest adjacent grade is 5'-0" feet (In Puerto Rico only: \_\_\_\_\_ meters).

**For Unnumbered A Zones Only:**

Highest adjacent (finished) grade next to the building (HAG) \_\_\_\_\_ . \_\_\_\_\_ feet (In Puerto Rico only: \_\_\_\_\_ . \_\_\_\_\_ meters).

NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

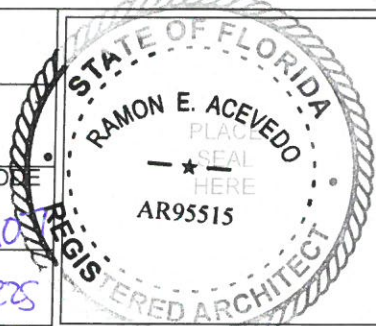
(NOTE: For insurance rating purposes, the building's floodproofed design elevation must be at least 1 foot above the Base Flood Elevation to receive rating credit. If the building is floodproofed only to the Base Flood Elevation, then the building's insurance rating will result in a higher premium. See the Instructions section for information on documentation that must accompany this certificate if being submitted for flood insurance rating purposes.)

## FLOODPROOFING CERTIFICATE FOR NON-RESIDENTIAL STRUCTURES

**Non-Residential Floodproofed Elevation Information Certification:**

Section II certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information

*I certify that the information in Section II on this Certificate represents a true and accurate interpretation and determination by the undersigned using the available information and data. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

|                                               |                           |                                                  |                          |                                                                                     |
|-----------------------------------------------|---------------------------|--------------------------------------------------|--------------------------|-------------------------------------------------------------------------------------|
| CERTIFIER'S NAME<br><b>RAMON E. ACEVEDO</b>   |                           | LICENSE NUMBER (or Affix Seal)<br><b>AR95515</b> |                          |  |
| TITLE<br><b>PRESIDENT GMA ARCHITECTS</b>      |                           | COMPANY NAME<br><b>GMA ARCHITECTS</b>            |                          |                                                                                     |
| ADDRESS<br><b>43 BARKLEY CIRCLE SUITE 202</b> | CITY<br><b>FORT MYERS</b> | STATE<br><b>FL</b>                               | ZIP CODE<br><b>33901</b> |                                                                                     |
| SIGNATURE<br><i>Ramon E. Acevedo</i>          | DATE<br><b>4/25/2022</b>  | PHONE<br><b>239-275-0225</b>                     |                          |                                                                                     |

**SECTION III - FLOODPROOFED CERTIFICATION (By a Registered Professional Engineer or Architect)**

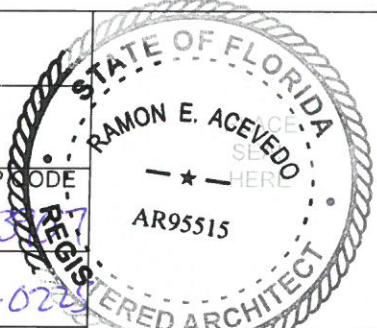
**Non-Residential Floodproofed Construction Certification:**

*I certify the structure, based upon development and/or review of the design, specifications, as-built drawings for construction and physical inspection, has been designed and constructed in accordance with the accepted standards of practice (ASCE 24-05, ASCE 24-14 or their equivalent) and any alterations also meet those standards and the following provisions.*

The structure, together with attendant utilities and sanitary facilities is watertight to the floodproofed design elevation indicated above, is substantially impermeable to the passage of water, and shall perform in accordance with the 44 Code of Federal Regulations (44 CFR 60.3(c)(3)).

All structural components are capable of resisting hydrostatic and hydrodynamic flood forces, including the effects of buoyancy, and anticipated debris impact forces.

*I certify that the information in Section III on this certificate represents a true and accurate determination by the undersigned using the available information and data. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

|                                               |                           |                                                  |                          |                                                                                       |
|-----------------------------------------------|---------------------------|--------------------------------------------------|--------------------------|---------------------------------------------------------------------------------------|
| CERTIFIER'S NAME<br><b>RAMON E. ACEVEDO</b>   |                           | LICENSE NUMBER (or Affix Seal)<br><b>AR95515</b> |                          |  |
| TITLE<br><b>PRESIDENT GMA ARCHITECTS</b>      |                           | COMPANY NAME<br><b>GMA ARCHITECTS</b>            |                          |                                                                                       |
| ADDRESS<br><b>43 BARKLEY CIRCLE SUITE 202</b> | CITY<br><b>Fort MYERS</b> | STATE<br><b>FL</b>                               | ZIP CODE<br><b>33901</b> |                                                                                       |
| SIGNATURE<br><i>Ramon E. Acevedo</i>          | DATE<br><b>4/25/2022</b>  | PHONE<br><b>239-275-0225</b>                     |                          |                                                                                       |

Copy all pages of this Floodproofing Certificate and all attachments for 1) community official, 2) insurance agent/company, and 3) building owner.





Exhibit E: Final Elevation Certificate



# ELEVATION CERTIFICATE

**Important:** Follow the instructions on pages 1–9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

| SECTION A – PROPERTY INFORMATION                                                                                                                                                                                                                                                    |                 |                                   |                                                      | FOR INSURANCE COMPANY USE |                                                                   |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|-----------------------------------|------------------------------------------------------|---------------------------|-------------------------------------------------------------------|
| A1. Building Owner's Name<br>Phelan Properties of Casey Key, LLC                                                                                                                                                                                                                    |                 |                                   |                                                      | Policy Number:            |                                                                   |
| A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.<br>482 Blackburn Point Road                                                                                                                                                   |                 |                                   |                                                      | Company NAIC Number:      |                                                                   |
| City<br>Osprey                                                                                                                                                                                                                                                                      |                 | State<br>Florida                  |                                                      | ZIP Code<br>34229         |                                                                   |
| A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)<br>PID #0157030001                                                                                                                                                                     |                 |                                   |                                                      |                           |                                                                   |
| A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Non-Residential</u>                                                                                                                                                                             |                 |                                   |                                                      |                           |                                                                   |
| A5. Latitude/Longitude: Lat. <u>27°10'47"</u> Long. <u>82°29'32"</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983                                                                                                               |                 |                                   |                                                      |                           |                                                                   |
| A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.                                                                                                                                                                       |                 |                                   |                                                      |                           |                                                                   |
| A7. Building Diagram Number <u>6</u>                                                                                                                                                                                                                                                |                 |                                   |                                                      |                           |                                                                   |
| A8. For a building with a crawlspace or enclosure(s):                                                                                                                                                                                                                               |                 |                                   |                                                      |                           |                                                                   |
| a) Square footage of crawlspace or enclosure(s) <u>1434.00</u> sq ft                                                                                                                                                                                                                |                 |                                   |                                                      |                           |                                                                   |
| b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>                                                                                                                                                               |                 |                                   |                                                      |                           |                                                                   |
| c) Total net area of flood openings in A8.b <u>0.00</u> sq in                                                                                                                                                                                                                       |                 |                                   |                                                      |                           |                                                                   |
| d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                                                                                                                                                                   |                 |                                   |                                                      |                           |                                                                   |
| A9. For a building with an attached garage:                                                                                                                                                                                                                                         |                 |                                   |                                                      |                           |                                                                   |
| a) Square footage of attached garage <u>N/A</u> sq ft                                                                                                                                                                                                                               |                 |                                   |                                                      |                           |                                                                   |
| b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>                                                                                                                                                                          |                 |                                   |                                                      |                           |                                                                   |
| c) Total net area of flood openings in A9.b <u>N/A</u> sq in                                                                                                                                                                                                                        |                 |                                   |                                                      |                           |                                                                   |
| d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                                                                                                                                                                   |                 |                                   |                                                      |                           |                                                                   |
| SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION                                                                                                                                                                                                                             |                 |                                   |                                                      |                           |                                                                   |
| B1. NFIP Community Name & Community Number<br>Sarasota county 125144                                                                                                                                                                                                                |                 |                                   | B2. County Name<br>Sarasota                          |                           | B3. State<br>Florida                                              |
| B4. Map/Panel Number<br>12115C0236                                                                                                                                                                                                                                                  | B5. Suffix<br>F | B6. FIRM Index Date<br>11-04-2016 | B7. FIRM Panel Effective/ Revised Date<br>11-04-2016 | B8. Flood Zone(s)<br>AE   | B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth)<br>12 |
| B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9:<br><input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____ |                 |                                   |                                                      |                           |                                                                   |
| B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____                                                                                                |                 |                                   |                                                      |                           |                                                                   |
| B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No<br>Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA         |                 |                                   |                                                      |                           |                                                                   |

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

|                                                                                                                               |                  |                   |                                  |
|-------------------------------------------------------------------------------------------------------------------------------|------------------|-------------------|----------------------------------|
| <b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>                                         |                  |                   | <b>FOR INSURANCE COMPANY USE</b> |
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.<br>482 Blackburn Point Road |                  |                   | Policy Number:                   |
| City<br>Osprey                                                                                                                | State<br>Florida | ZIP Code<br>34229 | Company NAIC Number              |

## SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: 157 J (DL9716) Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

|                                                                                                                               |             |                                          |                                 |
|-------------------------------------------------------------------------------------------------------------------------------|-------------|------------------------------------------|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor)                                                   | <u>8.3</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor                                                                                               | <u>18.8</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only)                                                           | <u>N/A</u>  | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| d) Attached garage (top of slab)                                                                                              | <u>N/A</u>  | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building<br>(Describe type of equipment and location in Comments) | <u>13.4</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG)                                                                    | <u>8.0</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG)                                                                   | <u>8.4</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support                                  | <u>8.4</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

## SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  Check here if attachments.

|                                         |                        |                                                                                                                              |              |
|-----------------------------------------|------------------------|------------------------------------------------------------------------------------------------------------------------------|--------------|
| Certifier's Name<br>F. Peter Lutz, Jr.  | License Number<br>5506 | <b>Frederick P. Lutz, Jr.</b><br>Digitally signed<br>by Frederick P.<br>Lutz, Jr.<br>Date:<br>2022.04.25<br>16:13:26 -04'00' |              |
| Title<br>Professional Surveyor & Mapper |                        |                                                                                                                              |              |
| Company Name<br>George F. Young, Inc.   |                        |                                                                                                                              |              |
| Address<br>10540 Portal crossing #105   |                        |                                                                                                                              |              |
| City<br>Bradenton                       | State<br>Florida       | ZIP Code<br>34211                                                                                                            |              |
| Signature                               | Date<br>04-14-2022     | Telephone<br>(941) 747-2981                                                                                                  | Ext.<br>8215 |

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

The Lat/Long was obtained from Google Earth. Item C2(e) were A/C or Chiller Units. The Flood Panels were installed at the time of the Final Certificate on the lower enclosure, as follows: The Bottom of the Flood Panel 8.31' and the Top of the Flood Panel 13.77'.

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

|                                                                                                                               |                  |                   |                                  |
|-------------------------------------------------------------------------------------------------------------------------------|------------------|-------------------|----------------------------------|
| <b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>                                         |                  |                   | <b>FOR INSURANCE COMPANY USE</b> |
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.<br>482 Blackburn Point Road |                  |                   | Policy Number:                   |
| City<br>Osprey                                                                                                                | State<br>Florida | ZIP Code<br>34229 | Company NAIC Number              |

## SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

## SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ ZIP Code \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_ Telephone \_\_\_\_\_

Comments

Check here if attachments.

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

|                                                                                                                               |                  |                   |                                  |
|-------------------------------------------------------------------------------------------------------------------------------|------------------|-------------------|----------------------------------|
| <b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>                                         |                  |                   | <b>FOR INSURANCE COMPANY USE</b> |
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.<br>482 Blackburn Point Road |                  |                   | Policy Number:                   |
| City<br>Osprey                                                                                                                | State<br>Florida | ZIP Code<br>34229 | Company NAIC Number              |

## SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4–G10) is provided for community floodplain management purposes.

|                   |                        |                                                     |
|-------------------|------------------------|-----------------------------------------------------|
| G4. Permit Number | G5. Date Permit Issued | G6. Date Certificate of Compliance/Occupancy Issued |
|-------------------|------------------------|-----------------------------------------------------|

- G7. This permit has been issued for:  New Construction  Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_
- G10. Community's design flood elevation: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

|                       |           |
|-----------------------|-----------|
| Local Official's Name | Title     |
| Community Name        | Telephone |
| Signature             | Date      |

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

# BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

|                                                                                                                               |                  |                   |                                  |
|-------------------------------------------------------------------------------------------------------------------------------|------------------|-------------------|----------------------------------|
| <b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>                                         |                  |                   | <b>FOR INSURANCE COMPANY USE</b> |
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.<br>482 Blackburn Point Road |                  |                   | Policy Number:                   |
| City<br>Osprey                                                                                                                | State<br>Florida | ZIP Code<br>34229 | Company NAIC Number              |

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption Front View 04/14/2022

Clear Photo One



Photo Two

Photo Two Caption 04/14/2022 North View

Clear Photo Two

# BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008  
Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

|                                                                                                                               |                  |                   |                                  |
|-------------------------------------------------------------------------------------------------------------------------------|------------------|-------------------|----------------------------------|
| <b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>                                         |                  |                   | <b>FOR INSURANCE COMPANY USE</b> |
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.<br>482 Blackburn Point Road |                  |                   | Policy Number:                   |
| City<br>Osprey                                                                                                                | State<br>Florida | ZIP Code<br>34229 | Company NAIC Number              |

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo Three

Photo Three Caption West view 04/14/2022

Clear Photo Three



Photo Four

Photo Four Caption A/C-Chiller Units 04/14/2022

Clear Photo Four